

March 10, 2022 Planning Commission Meeting

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BOROUGH OF CONSHOHOCKEN
MONTGOMERY COUNTY, PENNSYLVANIA

APPLICATION FOR SUBDIVISION/ LAND DEVELOPMENT

To be completed by the Borough:

Submission Information:	
File Number: <u>LD-2022-01</u>	File Date: <u>January 11, 2022</u>
Project Title: <u>124 W. 1st Ave</u>	Date Complete: <u>January 11, 2022</u>
Received By: <u>B. Rogers</u>	90 Day Date: <u>April 11, 2022</u>

REQUIRED MATERIALS FOR ALL LAND DEVELOPMENT/SUBDIVISION APPLICATIONS

1. This form **MUST** be completed and submitted with the Borough's Land Development/Subdivision application.
2. A Land Development/Subdivision Application **MUST** include all of the items listed in the application checklist to be considered complete.

Incomplete applications will **NOT** be placed on a Planning Commission agenda. Incomplete applications will be returned to the applicant.
3. Complete applications must be received at least 38 DAYS (see schedule) prior to the Planning Commission meeting at which it will be heard.

It is highly encouraged to submit applications in a digital format.
4. One (1) digital copy plus seven (7) paper copies of the complete application are required if submitting digitally, or fifteen (15) paper copies of the complete application are required.

Applicant Information:

Name: EELI LLC, Equitable Owner
Address: 300 Farm Ln
Doylestown, PA 18901
Phone: 215-622-9777
Fax: 888-519-1447
E-Mail*: megan@gtgcontracting.com

Property Owner Information (if different):

Name: _____
Address: _____
Phone: _____
Fax: _____
E-Mail*: _____

Architect/Planner: _____
Address: _____
E-mail*: _____ Phone/Fax: _____

Engineer/Surveyor: Holmes Cunningham Engineering - Robert Cunningham, P.E.
Address: 409 E. Butler Ave, Unit 5 Doylestown, PA 18901
E-mail*: rob@hcengineering.net Phone/Fax: 215-586-3330

Landscape Architect: _____
Address: _____
E-mail*: _____ Phone/Fax: _____

Attorney: Obermayer Rebmann Maxwell & Hippel LLP - Kellie McGowan, Esq
Address: 10 South Clinton Street, Suite 300, Doylestown, PA 18901
E-mail*: kellie.mcgowan@obermeyer.com Phone/Fax: 215-606-0181

*All correspondence regarding this application from the Planning Commission and staff will be made via e-mail. All persons involved with this application should provide their e-mail addresses so that information including, but not limited to, meeting dates and plan reviews replaces revisions here, is distributed appropriately.

Application For: (See Section 22-305.A or the bottom of page 10 of the application packet for clarification)

- Minor Land Development
- Preliminary Major Land Development
- Final Major Land Development

- Minor Subdivision
- Preliminary Major Subdivision
- Final Major Subdivision

Project Information:

Location (Street Address): 124 West 1st Avenue

Tax Assessment Parcel No. 05-00-03948-00-7 County Deed Book No. 5685 Page No. 1187

Description of Proposed Work: The project consists of the demolition of half of an existing attached home and the subdivision and construction to build two new attached homes

Total Tract Acreage: 0.11 Project Acreage 0.11

Zoning District BR-2 Existing Number of Lots: 1 Proposed Number of Lots: 2

Proposed Land Use: Single-Family Detached Single-Family Semi-Detached Multi-Family
 Single-Family Attached Commercial Office Industrial

Other (Describe): _____

Existing Sewer Flows: 1 EDU

Proposed Sewer Flows: 2 EDUs

Check List - Plans:

The applicant must provide all of the following plans for an application to be considered complete. Section 22, Part 3 of the SALDO outlines plan submission requirements and the criteria that must be met in order for submissions to be deemed complete. These requirements are listed on information sheets provided at the end of this application package. If the required plans listed below do not have sufficient information to allow for staff reviews, the application may be considered incomplete and returned, requesting additional information.

- | | |
|-----------------------------------------------------------------------|----------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Record Plan | <input type="checkbox"/> Landscape Plan |
| <input checked="" type="checkbox"/> Existing Features Site Plan | (sealed by a Landscape Architect) |
| <input checked="" type="checkbox"/> Grading Plan | <input checked="" type="checkbox"/> Demolition Plan |
| <input checked="" type="checkbox"/> Erosion and Sediment Control Plan | <input checked="" type="checkbox"/> Detail Sheets |
| <input type="checkbox"/> Lighting Plan_Major | <input type="checkbox"/> Traffic Study (if applicable) |
| <input type="checkbox"/> Circulation Plan_Major | <input checked="" type="checkbox"/> Post Construction Stormwater Management Plan |
| <input checked="" type="checkbox"/> Stormwater Calculations | <input checked="" type="checkbox"/> Utility Plan |

Check List - Proof of ownership and zoning relief:

- Proof of equitable ownership or interest in the property - copy of the deed to the subject property
- Copy of adjudication of Zoning Hearing Board related to the application

Check List - Color Photographs of Site and Existing Conditions:

- Streetscape in all directions, showing subject property in each
 - Façade and secondary elevations of existing building(s) on site
 - Sidewalk and curb conditions
 - Street trees
 - Alley conditions, if present
- * - Included with site improvement plans
W- Waiver Requested

Check List - Building Elevations:

- Architectural drawings and renderings of proposed building(s)

Check List - Setback of Proposed Building(s):

- Established building line for the block on which the property is located (eg: scale off an aerial)
(In plan, show setbacks of all existing buildings on same side of the street as project for entire block.)

List of Requested Waivers:

Section/Requirement:
22-421.1

Relief Requested:
A Waiver from providing a landscape plan prepared by a licensed landscape architect due to the limited of the project

Have you met with the Zoning Officer regarding this plan? Yes No
 Are there known variances/any zoning relief necessary for this project? Yes No
 If YES, have you submitted an application for the Zoning Hearing Board? Yes No
 Has this plan been reviewed by the Zoning Hearing Board? Yes No

*Please be advised that if any variances are found to be necessary during the course of the review of this plan, you will be required to go to the Zoning Hearing Board prior to proceeding to the Planning Commission. In addition, you will be requested to grant the Borough a waiver to the 90-day action period or an immediate denial of this application will be made, and you will be required to resubmit the application.

The undersigned represents that to the best of his/her knowledge and belief, all the above statements are true, correct and complete.

[Signature]
 Signature of Applicant
 12/28/2021
 Date

 Signature of Property Owner (if not the same as applicant)

 Date

ALL MAJOR subdivision/land use applications require a pre-submission meeting to discuss the project prior to full application submittal.

MINOR subdivision/land use applications may request a pre-submission meeting; if one is desired.

Meetings are held the second and fourth Tuesday of each month beginning at 1:30pm at the Borough Administrative Offices.

Applicants assume responsibility of any fees associated with this meeting.

[Signature] 12/28/2021
 Applicant signature date

To schedule a pre-submission meeting, please contact the office of the Borough Manager
 ph: 610.828.1092
 e: landuse@conshohockenpa.gov

Borough Use Only:

<input type="checkbox"/> Filing Fee	Amount \$ _____	Check No. _____
<input type="checkbox"/> Pre-Construction Professional Services Escrow	Amount \$ _____	Check No. _____

Decision Information:

Approval _____ Denial _____ Decision Date: _____

Comments/Conditions:

Subdivision Filing Fee \$300.00 Check No. 3161
 LD Filing Fee \$600.007 Check No. 3163
 Subdivision Escrow \$2500.00 Check No. 3162
 LD Escrow \$5,000.00 Check No. 3164

BOROUGH OF CONSHOHOCKEN
MONTGOMERY COUNTY, PENNSYLVANIA

ESCROW AGREEMENT
FOR PROFESSIONAL REVIEW FEES

SUBDIVISION/LAND DEVELOPMENT APPLICATIONS

The undersigned hereby agrees to post an escrow to cover the costs of the review of subdivision and land development applications by the Borough Planner, Engineer, and Solicitor. The amount of said escrow shall be according to the attached "Schedule of Fees" and shall be posted at the time of initial submission of an application to the Borough. Said fees shall be placed in an escrow account and any balance remaining shall be returned to the applicant subsequent to the receipt of final approval.

The applicant is advised that the "Schedule of Fees" represents only an estimate of the costs associated with plan review. The completeness and quality of the submission, the complexity of the project, the number of revisions and other factors may cause costs to exceed the established escrow amounts. If during the course of a subdivision/land development review an escrow amount falls to 10% of the original escrow amount or \$250, whichever is greater, the Borough may require the posting of additional escrow.

NOTE: NO FINAL APPROVALS, CONSTRUCTION, BUILDING OR OCCUPANCY PERMITS SHALL BE ISSUED UNTIL ALL OUTSTANDING PROFESSIONAL REVIEW FEES HAVE BEEN SATISFIED.

Signed _____

Applicant

Date: 12/28/2021

**RECORDER OF DEEDS
MONTGOMERY COUNTY**
Nancy J. Becker

One Montgomery Plaza
Swede and Aly Streets - Suite 303
P.O. Box 311 - Norristown, PA 19404
Office: (610) 278-3289 - Fax: (610) 278-3869



DEED BK 5685 PG 01187 to 01190.1
INSTRUMENT # : 2008024649
RECORDED DATE: 03/12/2008 11:05:18 AM



0282722-0005L

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 5

Document Type: Deed	Transaction #: 212381 - 1 Doc(s)
Document Date: 06/19/2007	Document Page Count: 3
Reference Info: DONOVAN	Operator Id: jdeal
RETURN TO: (Pickup) DONAHUERAMADAN	SUBMITTED BY: DONAHUERAMADAN

*** PROPERTY DATA:**

Parcel ID #: 05-00-03948-00-7
Address: 124 W FIRST AVE

PA
19428
Municipality: Conshohocken Borough
School District: Colonial

*** ASSOCIATED DOCUMENT(S):**

CONSIDERATION/SECURED AMT:	\$1.00
TAXABLE AMOUNT:	\$0.00
FEES / TAXES:	
Recording Fee: Deed	\$46.50
Affidavit Fee	\$1.50
Total:	\$48.00

DEED BK 5685 PG 01187 to 01190.1
Recorded Date: 03/12/2008 11:05:18 AM

I hereby CERTIFY that
this document is
recorded in the
Recorder of Deeds
Office in Montgomery
County, Pennsylvania.



Nancy J. Becker

Nancy J. Becker
Recorder of Deeds

PLEASE DO NOT DETACH
THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.
***COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.**

Digitally signed 08/06/2021 by montgomery.county.rod@kofile.com

Certified and Digitally Signed

Validation may require Adobe 'Windows Integration'

eCertified copy of recorded # 2008024649 (page 1 of 5)
Montgomery County Recorder of Deeds



Handwritten marks: 'B', 'A', and other scribbles.

This document prepared by)
 Name: Michael Nahas)
 Address: 301 Grant St, Ste 4300)
 City, State, Zip: Pittsburgh, PA 15219)
 Phone: 800-514-1315)
Return To:)
 Name: Donahue Ramadan)
 Address: 23411 Jefferson Ave, Ste 107)
 City, State, Zip: St Clair Shores, MI 48080)
 PIN: 05-00-03948-007)

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
 05-00-03948-00-7 CONSHOHOCKEN
 124 W FIRST AVE
 DONOVAN THOMAS E & MARGARET R \$5.00
 B 008 U 025 L 1101 DATE: 03/10/2008 JO

-----Above This Line Reserved For Official Use Only-----

QUITCLAIM DEED

Made the day of June 19, 2007

Handwritten mark: '3' with a circle around it.

Between **THOMAS E. DONOVAN** and **MARGARET R. DONOVAN**, his wife, of **124 W. FIRST AVENUE, CONSHOHOCKEN, PA 19428,**

hereinafter called **Grantor,**

THE DONOVAN FAMILY TRUST, dated 6/19/07 ^{And} of **124 W. FIRST AVENUE, CONSHOHOCKEN, PA 19428,**

hereinafter called **Grantee**

Witnesseth, that the said Grantors in consideration of the sum of **ONE and 00/100 DOLLAR** paid to the Grantors by the Grantees, the receipt of which is hereby acknowledged, Grantors do remise, release, and quit-claim unto the said Grantees, or their heirs and assigns, forever.

ALL THAT CERTAIN message and lots or piece of ground situate in the Borough of Coshohocken, County of Montgomery and State of Pennsylvania, bounded and described as follows, to wit:-

BEGINNING at a point on the Northeasterly side of Front Street at the distance of Two Hundred and Three and One-half feet more or less Northwestwardly from the Northerly corner of Forrest Street and Front Street, a corner of this and land now or late of Ellen Gilmore; thence along the said side of said Front Street Northwestwardly forty feet more or less to a point a corner of land now or late of Lawrence N. and Garrett J. Blanche; thence along the said land, Northeastwardly One Hundred and Twenty feet to a Twenty feet wide alley; thence along the said alley, Southeastwardly Forty feet more or less to a point a corner of land of said Ellen Gilmore, thence along the said land of Gilmore, Southwestwardly One Hundred and Twenty feet to the first mentioned point and place of beginning.

RECEIVED OCT 24 2007



This transfer is a transfer for no consideration to a trustee of an ordinary trust and is therefore exempt from the Pennsylvania Realty Transfer Tax Act as per 72 P.S. 8102-C.3(8).

With appurtenances, TO HAVE AND TO HOLD all the estate, right, title, interest, property, claim and demand whatsoever of the said Grantors to and for the use of the said Grantees, or their heirs and assigns forever.

IN WITNESS WHEREOF, the said Grantors have hereunto set hand and seal the day and year first above written.

Thomas E. Donovan
THOMAS E. DONOVAN

Margaret R. Donovan
MARGARET R. DONOVAN

NOTICE: THE UNDERSIGNED, AS EVIDENCED BY THE SIGNATURES TO THIS NOTICE AND THE ACCEPTANCE AND RECORDING OF THIS DEED, ARE FULLY COGNIZANT OF THE FACT THAT THE UNDERSIGNED MAY NOT BE OBTAINING THE RIGHT OF PROTECTION AGAINST SUBSIDENCE, AS TO THE PROPERTY HEREIN CONVEYED, RESULTING FROM COAL MINING OPERATIONS, AND THAT THE PURCHASE PROPERTY, HEREIN CONVEYED, AY BE PROTECTED FORM DAMAGE DUE TO THE MINE SUBSIDENCE BY A PRIVATE CONTRACT WITH THE OWNERS OF THE ECONOMIC INTEREST IN THE COAL. THIS NOTICE IS INSERTED HEREIN TO COMPLY WITH THE BITUMINOUS MINE SUBSIDENCE AND LAND CONSERVATION ACT OF 1966.

Thomas E. Donovan
THOMAS E. DONOVAN

Margaret R. Donovan
MARGARET R. DONOVAN



COMMONWEALTH OF PENNSYLVANIA)

)SS:

COUNTY OF MONTGOMERY)

On this the 15th day of June, 2007, before me a notary public, the undersigned officer, personally appeared THOMAS E. DONOVAN and MARGARET R. DONOVAN known to me (or satisfactorily proven) to be the person whose names subscribed to the within instrument and acknowledged that they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
JAMES S. WELCH, Notary Public
Bensalem Twp., Bucks County
My Commission Expires February 17, 2010

James S. Welch
Notary Public

CERTIFICATE OF RESIDENCE

We hereby certify that the precise residence of the Grantees herein is as follows:
124 W. FIRST AVENUE, CONSHOHOCKEN, PA 19428,

James S. Welch
THOMAS E. DONOVAN and MARGARET R. DONOVAN

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
JAMES S. WELCH, Notary Public
Bensalem Twp., Bucks County
My Commission Expires February 17, 2010

RECORDED
Borough of Conshohocken
Date: 12/4/07 (cm)





REALTY TRANSFER TAX STATEMENT OF VALUE

See Reverse for Instructions

RECORDER'S USE ONLY

State Tax Paid	0
Book Number	5685
Page Number	1187
Date Recorded	3-12-08

Complete each section and file in duplicate with Recorder of Deeds when (1) the full value/consideration is not set forth in the deed, (2) when the deed is without consideration, or by gift, or (3) a tax exemption is claimed. A Statement of Value is not required if the transfer is wholly exempt from tax based on: (1) family relationship or (2) public utility easement. If more space is needed, attach additional sheet(s).

A. CORRESPONDENT - All inquiries may be directed to the following person:

Name Michael Nahas		Telephone Number: (800) 514-1315	
Street Address 301 Grant St, Ste 4300		City Pittsburgh	State PA
		Zip Code 15219	

B. TRANSFER DATA

Grantor(s)/Lessor(s) THOMAS E. & MARGARET R. DONOVAN		Date of Acceptance of Document	
Street Address 124 W. FIRST AVENUE		Grantee(s)/Lessee(s) THE DONOVAN FAMILY TRUST	
City CONSHOHOCKEN		Street Address 124 W. FIRST AVENUE	
State PA	Zip Code 19428	City CONSHOHOCKEN	State PA
		Zip Code 19428	

C. PROPERTY LOCATION

Street Address 124 W. FIRST AVENUE		City, Township, Borough CONSHOHOCKEN BOROUGH	
County MONTGOMERY	School District Clonial	Tax Parcel Number 05-00-03948-007	

D. VALUATION DATA

1. Actual Cash Consideration 1.00	2. Other Consideration + 0.00	3. Total Consideration = 1.00
4. County Assessed Value 97,880	5. Common Level Ratio Factor X 1.87	6. Fair Market Value = 184,000

E. EXEMPTION DATA

1a. Amount of Exemption Claimed 100.00	1b. Percentage of Interest Conveyed 100.00%
-------------------------------------------	------------------------------------------------

2. Check Appropriate Box Below for Exemption Claimed

- Will or intestate succession _____ (Name of Decedent) _____ (Estate File Number)
- Transfer to Industrial Development Agency.
- Transfer to a trust. (Attach complete copy of trust agreement identifying all beneficiaries.)
- Transfer between principal and agent. (Attach complete copy of agency/straw party agreement.)
- Transfers to the Commonwealth, the United States and Instrumentalities by gift, dedication, condemnation or in lieu of condemnation. (If condemnation or in lieu of condemnation, attach copy of resolution.)
- Transfer from mortgagor to a holder of a mortgage in default. Mortgage Book Number _____, Page Number _____.
- Corrective or confirmatory deed. (Attach complete copy of the prior deed being corrected or confirmed.)
- Statutory corporate consolidation, merger or division. (Attach copy of articles.)
- Other (Please explain exemption claimed, if other than listed above.) _____

Under penalties of law, I declare that I have examined this Statement, including accompanying information, and to the best of my knowledge and belief, it is true, correct and complete.

Signature of Correspondent or Responsible Party <i>Thomas E. Donovan</i>	Date 6/15/07
-----------------------------------------------------------------------------	-----------------

FAILURE TO COMPLETE THIS FORM PROPERLY OR ATTACH APPLICABLE DOCUMENTATION MAY RESULT IN THE RECORDER'S REFUSAL TO RECORD THE DEED.



Real Estate Purchase and Sale Agreement

NOTICE: This is a legal and binding Agreement for the purchase and sale of property. It is appropriate for most BUT NOT ALL such transactions. If this form does not appear to either Buyer or Seller to be appropriate for a particular transaction, you are urged to discuss the purchase or sale with an attorney BEFORE YOU SIGN.

1. THIS Agreement, dated this 16th Day of April, 2021 to buy and sell real property is made between:

SELLER(s): Donovan Family Trust, 'Seller(s)'
ADDRESS: 124 W. 1st Ave, Conshohocken, PA 19428
&
BUYER: Stack Investments, LLC and/or Assigns, 'Buyer'
ADDRESS: P.O. Box 185, Westtown, PA 19395

Seller agrees to sell and Buyer agrees to buy for the purchase price and upon the terms and conditions stated herein the real property with all buildings and other improvements thereon and all appurtenances thereto, in the same condition as they were on the date of Buyer's signature.

2. REAL PROPERTY TO BE PURCHASED:

Street: 124 W. 1st Ave
City: Conshohocken State: PA Zip: 19428
Described as Parcel ID #: 05-00-03948-00-7

3. INCLUDED IN SALE: The Real Property shall include all items permanently attached to the property on the date Buyer and Seller have signed this Agreement. All personal property is excluded; unless otherwise stated as follows: _____

4. PURCHASE PRICE: [REDACTED]

Payable as follows:

- a) DEPOSIT: [REDACTED] (to be held in escrow at title company)
- b) Balance due: [REDACTED]

TOTAL TO BE PAID: [REDACTED]

5. SETTLEMENT, OCCUPANCY, POSSESSION: Settlement to occur on or before within 30 days upon approvals received (unless such date, agreed to by Buyer and Seller, need be reasonably extended). Unless otherwise stated herein, Buyer shall receive exclusive possession and occupancy with keys on Closing Date. The Real Property shall be maintained by Seller until time of Closing and shall be transferred to Buyer, in current condition. Buyer shall have the right to a walk-through inspection of the Property within 48 hours prior to the Closing Date.


6. INSPECTION/DUE DILIGENCE CONTINGENCY: X Elected Waived

a) Property being Sold "As-Is" and inspections are for Buyer's reference only. No repairs or renovations will be expected to be completed or requested of Seller. b) Seller agrees to permit Buyer and buyer's designees to inspect the real property. If Buyer is not satisfied with the physical condition of the real property at the Buyers' sole discretion, and so notifies Seller in writing by the date specified in (a) above, then Buyer may terminate this Agreement and all deposit money will be returned to buyer. (c) This agreement is further contingent upon Buyer confirming that the township/municipality will allow and approve any additions, new construction, etc. on said property and/or premises per township code or zoning requirements AND for Buyer to obtain such approvals to sub-divide and build.

7. FINANCING CONTINGENCY: Elected X Waived

a) If Elected, financing may be either in cash/certified bank check or an approved mortgage/loan that is deemed acceptable at Buyers' sole discretion. b) Buyer's obligation is contingent upon Buyer obtaining financing as specified in this paragraph. Buyer is not obligated to provide documentation of efforts to obtain mortgage and/or acceptance/denial of mortgage/loan. c) If Buyer's choice of financing is that of obtaining an approved mortgage/loan through the lender of the buyer's discretion and is unable to obtain a written commitment by N/A and so notifies Seller in writing, this Agreement shall become null and void and any Deposits shall be immediately returned to Buyer.

Buyer: 


Seller(s): _____

8. BUYER DEFAULT: The Deposit(s) specified above shall be made at the stated times and in form of check, cash, money order, etc. payable to title company conducting settlement. If Buyer fails to comply with any Terms of this Agreement by the time set forth for compliance and Seller is not in default, Seller shall be entitled to all initial and additional deposit funds provided for in section 4 above; whether or not Buyer has paid the same, as liquidated damages and both parties shall be relieved of further liability under this Agreement.

9. SELLER(s) DEFAULT: If Seller is able, but not willing, to meet their obligations of moving forward with the sale of said property above, as stated in this Agreement, and as no fault or causes by Buyer, and Buyer is ready and able to move forward with the sale of said property under the terms set forth in this agreement, then Buyer holds the right to seek and pursue monetary damages for breach of contract and/or file for an action for specific performance that is to be determined by the courts.

10. LEAD BASED PAINT NOTICE: The parties acknowledge that dwelling units constructed prior to 1978 may contain lead-based paint which could create a health hazard. In the event that the real property which is the subject of this Agreement consists of or contains a residential unit built prior to 1978, the parties agree that each party has received, reviewed, signed a completed Disclosure and acknowledgment Form regarding Lead-Based Paint as required by federal HUD/EPA disclosure regulations.

11. CONDITION OF PREMISES: The subject property is being sold in "As-Is" condition and no repairs are expected to be made or paid for by seller. Buyer further represents that Buyer has examined the property and is satisfied with the physical condition subject to the Inspection Contingency stated in this agreement. Seller understands and agrees to keep the condition of the premises the same as to which it is as per signing date of this agreement.

12. MARKETABLE TITLE: Title to be conveyed by Seller shall be clear and marketable as determined by the Standards of Title of the State of Pennsylvania now in force. Seller further agrees to execute such documents as may be reasonably required by Buyer's title insurance company or by Buyer's mortgage lender. Should Seller be unable to convey Clear and Marketable Title as defined herein, Buyer may accept such Title, or may reject the Unmarketable Title, receive back all Deposit money, and declare this Agreement null and void. Buyer holds the right to attempt to obtain any document(s) required by the title company to obtain a clear and insurable title, and Seller agrees to extend contract for the period of time necessary to obtain clear title.

13. ADJUSTMENTS: Real Estate Taxes will be adjusted and prorated as of the Closing Date. All other adjustments, including Association fees, fuel oil, water and sewer usage, utilities, rent, if any, and issues regarding funds at closing and unavailability of releases at closing and like matters shall be adjusted pro rata as of the Closing Date in accordance with the Residential Real Estate Closing Customs of Pennsylvania.

14. RISK OF LOSS, DAMAGE: All risk of loss or damage to said property by fire, theft, or other casualty until delivery of Deed shall be upon the Seller. In the event of loss or damage done prior to settlement, Buyer shall have the option to accept the property or terminate this Agreement and receive back all Deposit money paid. In such case all rights and obligations of the parties under this Agreement shall terminate.


15. ASSIGNMENT/MARKETING: Seller understands and accepts that under this Agreement of Sale, the Buyer has the right to assign their interest in the subject property to another Buyer, if they so choose, prior to closing and market said property above, as they see fit (may or may not include placing property on the MLS, email/social marketing, or any other means). If Buyer exercises their right to assign this agreement, all terms and conditions will remain in full force and effect, as stated within.

16. EQUAL HOUSING RIGHTS: This Agreement is Subject to all local statutory laws prohibiting discrimination in commercial and residential real estate transactions in accordance with the laws of the State of Pennsylvania.

17. TRANSFER TAXES: Transfer taxes will be divided equally between Buyer and Seller as per normal real estate transactions in Pennsylvania unless otherwise stated as follows: Buyer agrees to pay BOTH sides of transfer taxes at settlement.

18. USE & OCCUPANCY (U&O) REQUIREMENTS: Buyer agrees and understands that they are fully responsible for ordering, paying for and/or obtaining any and all required U&O certificates, as per the township/borough/municipality in which said property above is located. This includes making and paying for any repairs/inspection items needed to obtain the final U&O Certificate.

Buyer: 


Seller(s): _____

19. ACCESS TO PROPERTY PRIOR TO CLOSING: Seller agrees to grant access to the property so Buyer can show property to business partners, inspectors, appraisers, contractors, etc. prior to closing. Buyer would prefer seller to allow a lockbox to be placed on property if possible. Buyer agrees to give at least a 24-hour notice to Seller prior to entering or visiting said property.

20. FAX/EMAIL TRANSMISSION: The parties acknowledge that this Agreement and any addenda or modification and/or any notices due hereunder may be transmitted between them by facsimile machine, e-FAX, or via email and the parties intend that a faxed document containing either the original and/or copies of the parties' signatures shall be binding and of full effect.

21. ADDITIONAL TERMS/CONDITIONS:

Seller agrees to work with Buyer(s) in order to obtain any and all approvals, variances, etc. required by the Borough of Conshohocken. Buyer further agrees to apply for the variance hearing with the Board in a timely manner. No later than the June 2021 hearing if unable to secure a place for the May hearing.

22. COMPLETE AGREEMENT: This Agreement contains the entire agreement between Buyer and Seller concerning this transaction and supersedes any and all previous written or oral agreements concerning the Property. Any extensions or modifications of this Agreement shall be in writing signed by all of the parties above.

BUYER AND SELLER(S) have acknowledged receipt of, and read, this Agreement and accept the terms and conditions set forth upon signing their name below.



Buyer: Stack Investments, LLC

4/19/2021

Date



Seller: Doris Whitman, Donovan Family Trust

04 / 19 / 2021

Date



Seller: Carolyn Jeanquart, Donovan Family Trust

04 / 18 / 2021

Date

ASSIGNMENT OF CONTRACT AGREEMENT

In consideration of total sum of [REDACTED] 'Assignment Fee', Stack Investments, LLC, (Assignor) hereby assigns and otherwise transfers to EELI LLC (Assignee), all rights, title, and interest held by Assignor in and to the contract described as follows:

Original Agreement of Sale dated April 16, 2021, between Stack Investments, LLC and/or Assigns and Donovan Family Trust, and concerning the property located at:

124 W. 1st Ave, Conshohocken, PA 1948

Assignor warrants and represents that said contract is in full force and effect and is fully assignable. Assignor further warrants that it has the full right and authority to transfer said contract and that contract rights herein transferred are free of lien, encumbrance, or adverse claim. Said contract has not been modified and remains on the terms contained therein.

Assignee hereby assumes and agrees to perform all remaining obligations of Assignor under the contract and agrees to indemnify and hold Assignor harmless from any claim or demand resulting from non-performance by Assignee. Assignee shall be entitled to all monies remaining to be paid under the contract, which rights are also assigned hereunder.

Settlement shall take place On or Before: within 30-60 days of obtaining approvals

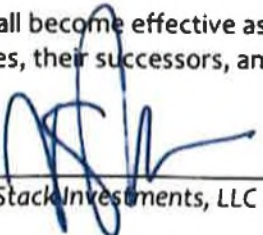
Assignee has/will submit a deposit (within 2 days) in the amount of \$1,000 to be held in title company escrow account at Knights Abstract

IT IS HEREBY ACKNOWLEDGED BY ASSIGNEE THAT THIS ASSIGNMENT AGREEMENT AND ORIGINAL AGREEMENT OF SALE IS NOT ASSIGNABLE BY ASSIGNEE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF ASSIGNOR, AUTHORIZATION OF WHICH MAY BE WITHHELD FOR ANY REASON BY ASSIGNOR.

Other terms:

- Buyer understands and agrees to apply for and incur all costs associated with zoning hearing board approvals for zoning change as well as land development to establish 2 buildable lots, immediately upon execution of this agreement, to be placed on the June 2021 hearing schedule with Conshohocken Borough.
- Buyer agrees to legal representation for zoning hearing board and land development of subject property
- Seller agrees to allow buyer to perform site tests and inspections as per land development and borough requirements for submission. Buyer holds Seller harmless for any/all liability while entering subject property.
- Settlement to take place within 30-60 days of final recording of approvals.

This Assignment shall become effective as of the date last executed and shall be binding upon and inure to the benefit of the parties, their successors, and assigns.



 Assignor - Stack Investments, LLC

4/19/2021

 Date

DocuSigned by:


 Assignee -

4/19/2021 | 4:23 PM EDT

 Date

Applicant Request for County Review



This request should be filled out by the applicant and submitted to the municipality where the application is being filed along with digital copies of all plan sets/information. Municipal staff will electronically file the application with the county, and a notice for the prompt payment of any fees will be emailed to the Applicant's Representative.

Date:
 Municipality:
 Proposal Name:

Applicant's
 Representative:
 Address:

Applicant Name:
 Address:
 City/State/Zip:
 Phone:
 Email:

City/State/Zip:
 Business Phone (required):
 Business Email (required):

Type of Review Requested:

(Check All Appropriate Boxes)

- Land Development Plan
- Subdivision Plan
- Residential Lot Line Change
- Nonresidential Lot Line Change
- Zoning Ordinance Amendment
- Zoning Map Amendment
- Subdivision Ordinance Amendment
- Curative Amendment
- Comprehensive / Other Plan
 Conditional Use
- Special Review*

**(Not included in any other category - includes parking lot or structures that are not associated with new building square footage)*

Type of Plan:

Tentative (Sketch)
 Preliminary / Final

Type of Submission:

- New Proposal
- Resubmission*

** A proposal is NOT a resubmission if A) The proposed land use changes, or B) The amount of residential units or square footage proposed changes more than 40%, or C) The previous submission was over 5 years ago.*

Zoning:

Existing District:
 Special Exception Granted Yes No
 Variance Granted Yes No For

Plan Information:

Tax Parcel Number(s)

Location
 Nearest Cross Street
 Total Tract Area
 Total Tract Area Impacted By Development

(If the development is a building expansion, or additional building on existing development, or only impacts a portion of the tract, please provide a rough estimate of the land impacted, including associated yards, drives, and facilities.)

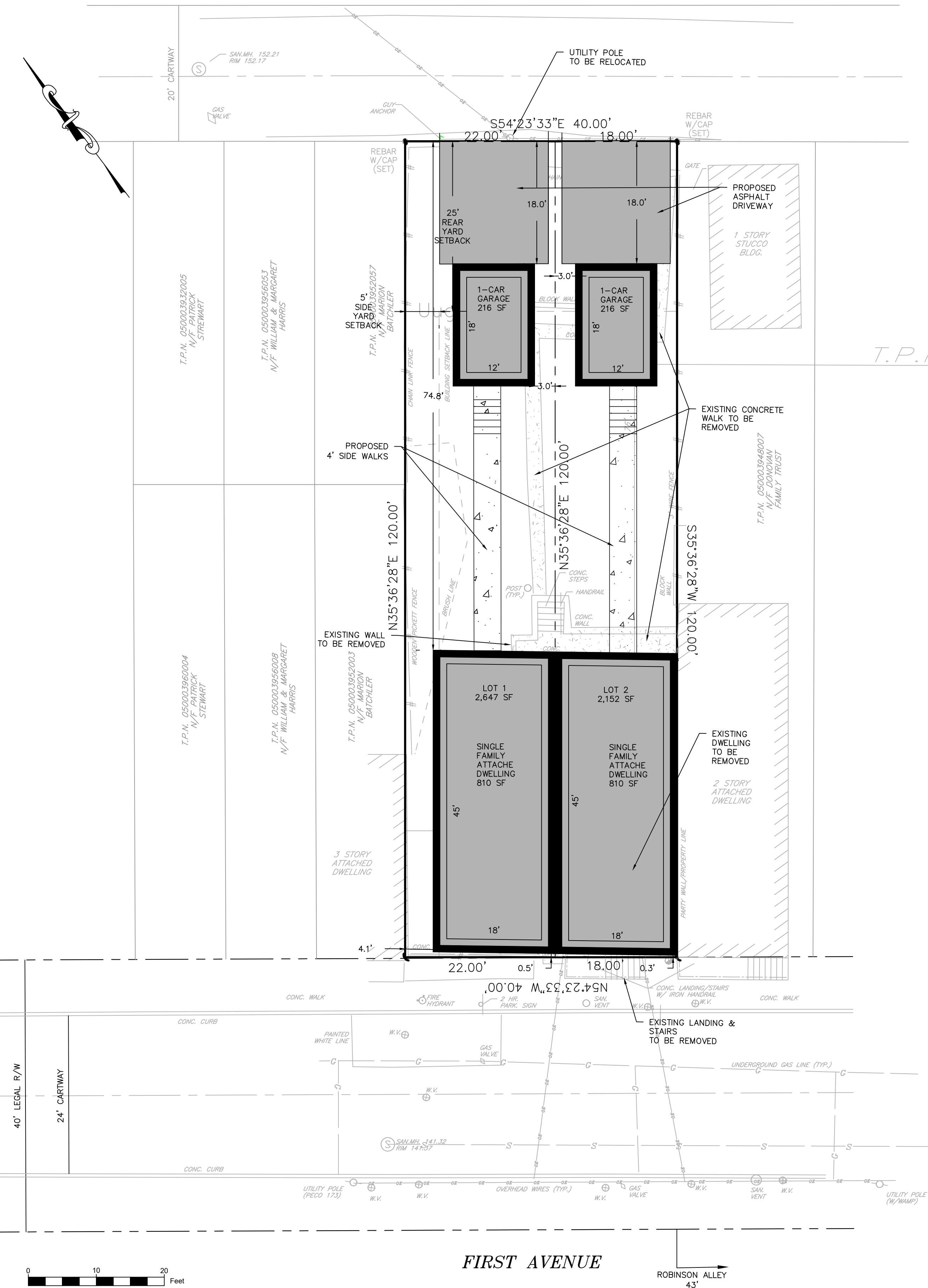
Land Use(s)	Number of New		Senior Housing		Open Space Acres*	Nonresidential New Square Feet
	Lots	Units	Yes	No		
Single-Family						
Townhouses/Twins						
Apartments						
Commercial						
Industrial						
Office						
Institutional						
Other						

**Only indicate Open Space if it will be on a separate lot or deed restricted with an easement shown on the plan.*

Additional Information:

PUBLIC ALLEY

FIRST AVENUE



DRAWING LIST

SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE	LAST REVISED DATE
1	C1.0	RECORD SUBDIVISION PLAN	1/6/2022
2	C1.1	EXISTING CONDITIONS & DEMOLITION PLAN	1/6/2022
3	C2.0	IMPROVEMENT CONSTRUCTION PLAN	1/6/2022
4	C2.1	CONSTRUCTION DETAILS	1/6/2022
5	C2.2	CONSTRUCTION DETAILS	1/6/2022

CONTACTS

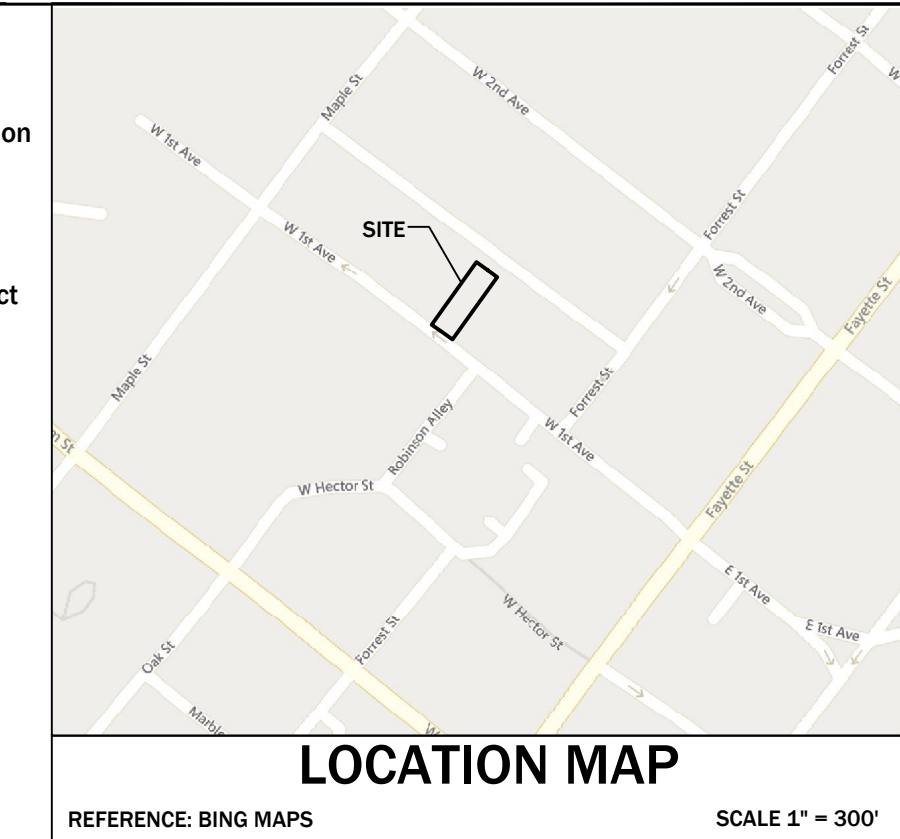
Conshohocken Borough
400 Fayette Street, Suite 200
Conshohocken, PA 19428
610-828-1092

Township Engineer
Gilmore & Associates, Inc.
65 East Butler Avenue, Suite 100
New Britain, PA 18901
215-345-4330

Horsham Township Water & Sewer Authority
617 Horsham Road
Horsham, PA 19044
215-672-8011

Montgomery County Planning Commission
425 Swede Street, #201
Norristown, PA 19401
610-278-3722

Montgomery County Conservation District
143 Level Road
Collegeville, PA 19426
610-489-4506



ZONING TABLE				
Zone: BR-2 District				
ITEM	PERMITTED	EXISTING	PROPOSED LOT 1	PROPOSED LOT 2
District Requirements				
Permitted Uses	SF Attached;	SF Attached;	SF Attached;	SF Attached;
Min. Lot Area	1,800 SF	4,800 SF	2,647 SF	2,152 SF
Min. Lot Width	18 FT	40 FT	22 FT	18 FT
Min. Front Yard Setback (1)	15 FT	0.3 FT	0.5 FT(N)	0.3 FT(N)
Min. Side Yard Setback (one side)	7 FT	22 FT	4.1 FT(V)	0 FT
Min. Rear Yard Setback	25 FT	76 FT	74.8 FT	76 FT
Min. Building Width	18 FT	16.4 FT	18 FT	18 FT
Max. Building Height / Stories +	35 FT	< 35 FT	< 35 FT	< 35 FT
Max. Building Coverage	40%	14.1%	38.8%	47.7%(V)
Max. Impervious Coverage	60%	26.6%	55.5%	68.3%(V)
General Requirements: Accessory Structure				
Min. Distance from Cartway	5 FT	N/A	< 28 FT	< 28 FT
Min. Lot Line Setback	3 FT	N/A	3 FT	3 FT
Max. Building Height (Peak Roof/Flat Roof)	15 FT/10 FT	N/A	8.7 FT	8.7 FT
(N) Existing Non-Conformity				
(V) Variance Required				
+ Average site grade 144.50'				

LOT CALCULATIONS						
Lot Number	Gross Lot Area (SF)	Right-of-Way (SF)	Net Lot Area (SF)	Building Area (SF)	Building Coverage (%)	Impervious (SF)
Existing						
Total	4,800.0	0.0	4,800.0	677	14.1%	1,275
Proposed Lots						
1	2,647.7	0.0	2,647.7	1,026	38.8%	1,470
2	2,152.3	0.0	2,152.3	1,026	47.7%	1,470
Total	4,800.0	0.0	4,800.0	2,052	42.8%	2,939
Average	2,400.0	0.0	2,400.0	1,026	43%	1,470

AREA CALCULATIONS	
Gross Lot Area	4,800 S.F.
Street Right-of-Way	0
Net Lot Area	4,800
IMPERVIOUS CALCULATIONS	
Existing Dwelling	677
Existing Concrete Patio and Walk	503
Existing Concrete Wall	95
Total Existing Impervious	1,275
Total Existing Building Coverage	14.1%
Total Existing Impervious Coverage	26.6%
Proposed Impervious Area Lot 1	
Proposed Dwelling	810
Proposed Garage	216
Proposed Driveway	288
Proposed Walkway	155
Total Proposed Impervious	1,470
Proposed Impervious Area Lot 2	
Proposed Dwelling	810
Proposed Garage	216
Proposed Driveway	288
Proposed Walkway	155
Total Proposed Impervious	1,470
Change in Impervious Coverage	1,664

- NOTES:
- THIS PROJECT CONSISTS OF THE DEMOLITION OF HALF OF AN EXISTING ATTACHED HOME AND THE SUBDIVISION AND CONSTRUCTION TO BUILD TWO NEW ATTACHED HOMES.
 - THIS PLAN IS BASED ON AN EXISTING FEATURES PLAN PREPARED BY CAVANAUGH'S SURVEYING SERVICES DATED JUNE 17, 2021.
 - REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM, ASSIGNED SERIAL NUMBERS AND IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 187 OF 2008. (800-242-1776)
 - SUBJECT PROPERTY AND SURROUNDING PROPERTIES WITHIN 100 FEET ARE WITHIN BR-1 & BR-2 BOROUGH RESIDENTIAL ZONING DISTRICT.
 - FLOOD ZONE INFORMATION: SUBJECT PARCEL AREA IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 358 OF 451, COMMUNITY MAP NO. 42091C03589 WHICH BEARS AN EFFECTIVE DATE OF MARCH 2, 2016.
 - BOUNDARY INFORMATION SHOWN FOR SUBJECT PROPERTY EXTENDS TO THE LEGAL RIGHT-OF-WAY LINE. NO ADDITIONAL STREET RIGHT-OF-WAY IS BEING OFFERED FOR DEDICATION.
 - BUILDINGS SHOWN ON THIS PLAN ARE CONCEPTUAL AND MAY BE REFINED DURING THE BUILDING PERMIT PROCESS.
 - NO NEW STREETS ARE PROPOSED AS PART OF THIS PROJECT.
 - THE OWNER(S) OF EACH LOT SHALL BE RESPONSIBLE TO MAINTAIN ANY STORMWATER IMPROVEMENTS LOCATED ON THEIR LOT IN ACCORDANCE WITH THE PLANS FOR THE PROJECT.
 - IN THE EVENT STORMWATER ISSUES ARISE ON THE SUBJECT PARCELS OR ON NEIGHBORING PROPERTIES PRIOR TO FINAL ACCEPTANCE OF THE PROJECT, THE DEVELOPER WILL BE RESPONSIBLE FOR ADDRESSING THE IMPACTS TO THE SATISFACTION OF THE BOROUGH.
 - A BLANKET EASEMENT IS PROVIDED ON EACH LOT ON BEHALF OF CONSHOCKEN BOROUGH FOR MAINTENANCE AND REPAIR OF STORMWATER MANAGEMENT FACILITIES.
 - CONSTRUCTION OF ALL PROPOSED IMPROVEMENTS SHALL BEGIN APRIL 2022 AND END DECEMBER 2022.

LEGEND

- CONTOUR
- PROPERTY/R.O.W. LINE
- ADJOINING PROPERTY LINE
- EXISTING BUILDING LINE
- SANITARY MANHOLE
- WATER VALVE
- MONUMENT
- ELECTRIC BOX
- UTILITY POLE
- ASPHALT DRIVEWAY
- CONCRETE WALK/APRON
- PROPOSED DWELLING

ZONING HEARING DECISION

ON OCTOBER 25, 2021, THE CONSHOCKEN ZONING HEARING BOARD GRANTED APPROVAL FOR THE VARIANCES FROM THE CONSHOCKEN BOROUGH ZONING ORDINANCE.

THE RELIEF GRANTED IS AS FOLLOWS:

- A VARIANCE FROM SECTION 27-1105.E TO PERMIT A SIDE YARD SETBACK OF 4.1 FEET WHEREAS 7 FEET IS REQUIRED
- A VARIANCE FROM SECTION 27-1105.G TO PERMIT A BUILDING COVERAGE OF 47.7% WHEREAS A MAXIMUM OF 40% IS PERMITTED.

THE VARIANCES WERE GRANTED SUBJECT TO THE FOLLOWING CONDITIONS:
(1) THE APPLICANTS COMMITMENT TO WORK WITH THE ABUTTING PROPERTY OWNERS TO ADDRESS STORMWATER MANAGEMENT CONCERNS DURING THE LAND DEVELOPMENT PROCESS.

PROFESSIONAL LAND SURVEYOR'S CERTIFICATION

I, PATRICK A. CAVANAUGH, A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA, SURVEYOR NO. SUST056, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND METES AND BOUNDS SHOWN ON THIS PLAN ARE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS IN JULY OF 1996 (OR AS SUBSEQUENTLY ADOPTED), ALL MONUMENTS AND/OR LOT LINES SHOWN, EXIST AS INDICATED OR SHALL BE PLACED AS SHOWN, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

DATE: _____ PATRICK A. CAVANAUGH, PA P.L.S. SUST056

PROFESSIONAL ENGINEER'S CERTIFICATION

I, ROBERT T. CUNNINGHAM, P.E., A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, ENGINEER NO. 075424, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE INFORMATION CONTAINED IN THE ACCOMPANYING PLANS, SPECIFICATIONS AND REPORTS, HAS BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE, IS TRUE AND CORRECT, AND IS IN CONFORMANCE WITH THE ZONING AND SUBDIVISION AND LAND DEVELOPMENT ORDINANCES, AS AMENDED, ALL SUCH SUBDIVISION AND LAND DEVELOPMENT WAIVERS AND ZONING VARIANCES GRANTED, AS LISTED ON THE RECORD PLAN REQUIREMENTS; AND BUILDING, WATER, SEWER, AND ALL OTHER APPLICABLE ORDINANCES AND REGULATIONS OF CONSHOCKEN BOROUGH, AS LAST AMENDED.

DATE: _____ ROBERT T. CUNNINGHAM, PA PE076424

OWNER'S CERTIFICATION OF INTENT

I, _____, HEREBY CERTIFY THAT _____ HAVE LAID OUT UPON OUR LAND SITUATED IN THE BOROUGH OF CONSHOCKEN, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA, LOTS AND STREETS ACCORDING TO THE ACCOMPANYING PLAN WHICH IS INTENDED TO BE FORTHWITH RECORDED.

WITNESS OUR HAND AND SEAL THIS _____ DAY OF _____, 20____.

(OWNER) _____

COMMONWEALTH OF PENNSYLVANIA:

COUNTY OF _____

ON THE _____ DAY OF _____, 20____, BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED _____ WHO ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL PLAN OF LOTS AND PROPERTY SHOWN THERETO SITUATED IN THE BOROUGH OF CONSHOCKEN, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA, AND DESIRED THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC
(SEAL)

MY COMMISSION EXPIRES: _____

REVIEW BY THE BOROUGH ENGINEER, CONSHOCKEN BOROUGH:

THIS RECORD SITE PLAN WAS REVIEWED BY _____, P.E., THE APPOINTED BOROUGH ENGINEER FOR CONSHOCKEN BOROUGH ON THIS _____ DAY OF _____, 20____.

REVIEW BY THE MONTGOMERY COUNTY PLANNING COMMISSION:

MCPC NO. _____

PROCESSED AND REVIEWED, REPORT PREPARED BY THE MONTGOMERY COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.

CERTIFIED THIS DATE _____

EXECUTIVE DIRECTOR, MONTGOMERY COUNTY PLANNING COMMISSION

APPROVAL OF THE BOROUGH COUNCIL OF CONSHOCKEN BOROUGH:

THIS RECORD SITE PLAN WAS APPROVED BY RESOLUTION OF THE CONSHOCKEN BOROUGH COUNCIL THIS DAY OF _____, 20____.

PRESIDENT

APPROVAL OF CONSHOCKEN BOROUGH PLANNING COMMISSION

THIS RECORD SITE PLAN WAS APPROVED BY THE CONSHOCKEN BOROUGH PLANNING COMMISSION THIS DAY OF _____, 20____.

SECRETARY

RECORDED OF DEEDS - MONTGOMERY COUNTY:

RECORDED THIS _____ DAY OF _____, IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY IN NORRISTOWN, PENNSYLVANIA, IN PLAN BOOK NO. _____ PAGE NO. _____

RECORDER

Holmes Cunningham LLC
409 E. Butler Ave.,
Unit 5
Doyletown, PA 18901
(215) 586-3330
www.hcengineering.net

REVISIONS	Description	Date

124 W. 1ST AVENUE
TWP# 05-00-03948-00-7
CONSHOCKEN BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA

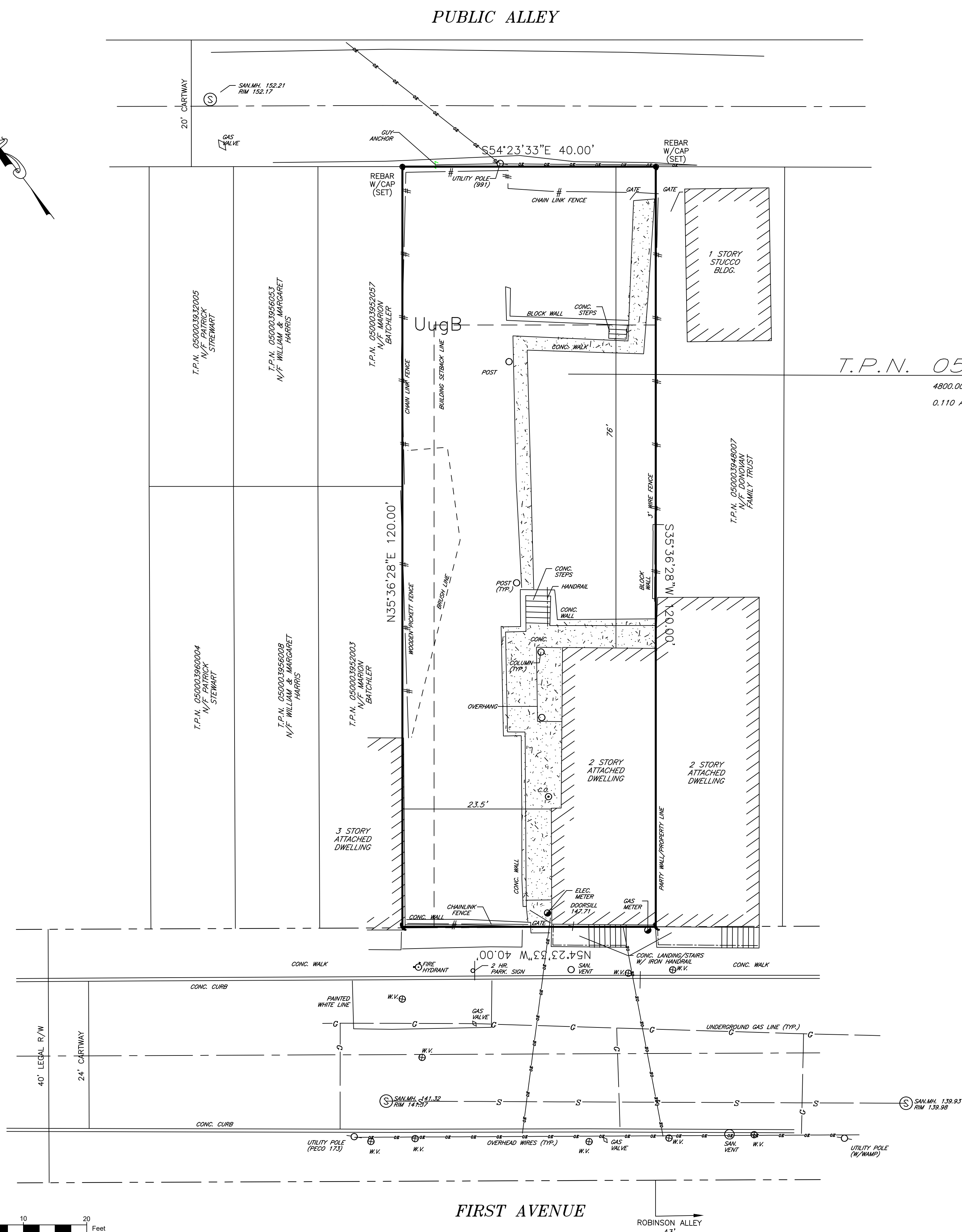
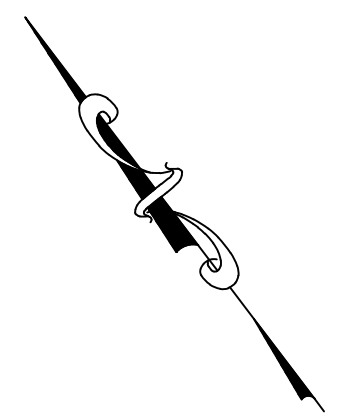
RECORD SUBDIVISION PLAN

ROBERT T. CUNNINGHAM, P.E.
PA PE076424

File No.
1663_C1.0_Record.DWG

HCE Job 1663
Date 01/6/2022
Scale 1"=10'
Designed RC
Sheet 1 of 5

Drawing No.
C1.0

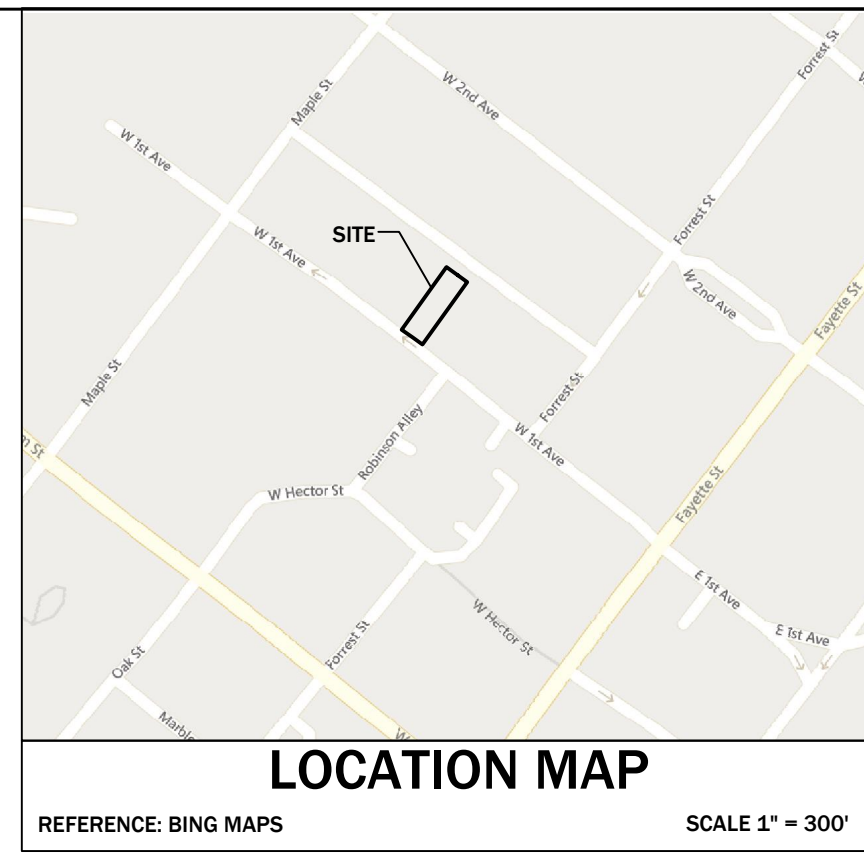


T.P.N. 050003948007
4800.00 S.F.
0.110 ACRES

- NOTES:
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 5. BOUNDARY INFORMATION SHOWN FOR SUBJECT PROPERTY EXTENDS TO THE LEGAL RIGHT-OF-WAY LINE. NO ADDITIONAL STREET RIGHT-OF-WAY IS BEING OFFERED FOR DEDICATION.
 6. ALL EXISTING FEATURES ON SITE ARE TO BE REMOVED IN ACCORDANCE WITH APPROVED REGULATIONS.

LEGEND

- CONTOUR
- PROPERTY/R.O.W. LINE
- ADJOINING PROPERTY LINE
- EXISTING BUILDING LINE
- SANITARY MANHOLE
- WATER VALVE
- MONUMENT
- ELECTRIC BOX
- UTILITY POLE



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REVISIONS	Date	Description

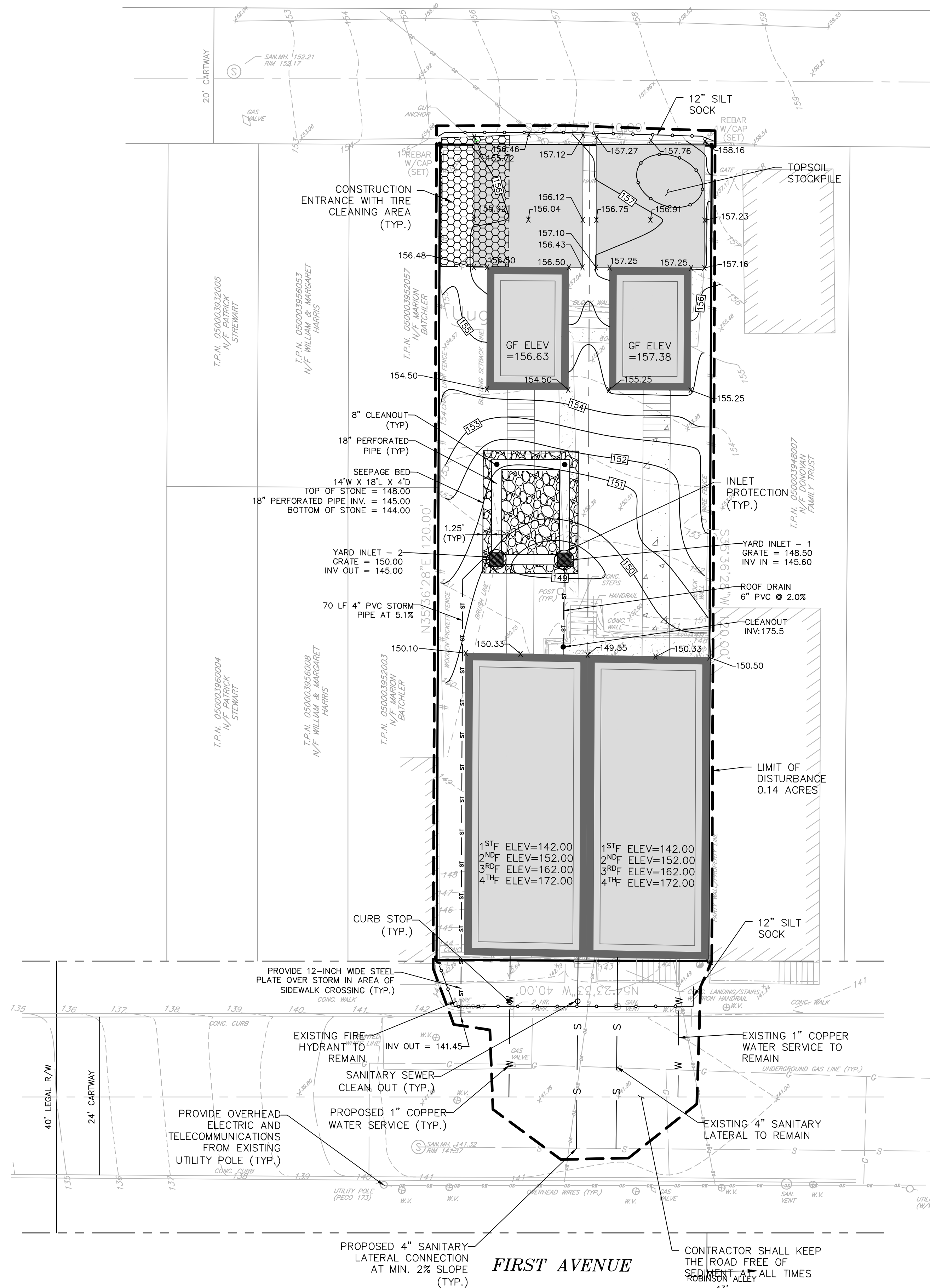
124 W. 1ST AVENUE
TMP# 05-00-03948-00-7
CONSHOHOCKEN BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA
EXISTING CONDITIONS & DEMOLITION PLAN

ROBERT T. CUNNINGHAM, P.E.
PA PE076424

File No.	1663_C1.1_Existing.DWG
HCE Job	1663
Date	01/6/2022
Scale	1"=10'
Designed	RC
Sheet	2 of 5

Drawing No.
C1.1

PUBLIC ALLEY



GENERAL NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE EXISTING LOCATION AND/OR ELEVATION OF FEATURES AS SHOWN ON THESE PLANS IS BASED ON A SURVEY PREPARED BY CAVANAUGH'S SURVEYING SERVICES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
2. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH DOYLESTOWN BOROUGH STANDARDS.
3. SITE GRADING SHALL NOT PROCEED UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AS STATED IN THE SEQUENCE OF CONSTRUCTION.
4. UNDER PENNSYLVANIA LAW, THE CONTRACTOR IS REQUIRED TO NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM AT 1-800-242-1776 PRIOR TO THE START OF HIS WORK, SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE THEIR OWN UTILITIES.
5. THE CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM DEPICTED ON THE PLANS. FOR ADDITIONAL INFORMATION REQUIRED FOR CONSTRUCTION NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SPECIFIC SITEWORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF SUBMITTING AND ADDRESSING WRITTEN REQUESTS FOR INFORMATION.
6. THERE ARE NO HD OR EV WATERSHEDS LOCATED WITHIN THE PROJECT AREA.
7. THERE ARE NO RIPARIAN AREAS OR BUFFERS IDENTIFIED WITHIN THE PROJECT AREA. THEREFORE, RIPARIAN BUFFER OBLIGATIONS DO NOT APPLY TO THIS PROJECT.
8. THE EXISTING SITE IS NOT UNDERLAIN BY ANY NATURALLY OCCURRING GEOLOGIC FORMATIONS OR SOIL CONDITIONS WHICH COULD CAUSE POLLUTION DURING EARTH DISTURBANCE. THEREFORE, NO LOCATIONS ARE IDENTIFIED ON THIS PLAN AND NO DETAILS ARE PROVIDED FOR DISPOSAL OF SUCH MATERIAL.

UTILITY NOTES

1. A HORIZONTAL SEPARATION OF 10 FEET AND/OR A VERTICAL CLEARANCE OF 18 INCHES SHALL BE MAINTAINED BETWEEN THE OUTER WALL OF SANITARY SEWER AND ANY OTHER UTILITY PIPELINES. WHERE PIPELINES MUST CROSS UNDER A SEWER, THE INSTALLATION MUST ALSO PROVIDE ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER TO PREVENT DEFLECTION AND BREAKING OF THE SEWER. WHERE PROPER CLEARANCES CAN NOT BE PROVIDED, THE SEWER SHALL BE CONCRETE ENCASED FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CONFLICT.
2. SANITARY SEWER SHALL HAVE MINIMUM 4 FOOT PIPE COVER.
3. NO PLANTINGS OR STRUCTURES SHALL BE LOCATED WITHIN SANITARY SEWER EASEMENTS OR WITHIN 10 FEET OF SANITARY SEWER MAINS OR LATERALS OR WITHIN 5 FEET OF ANY UNDERGROUND PIPE, UTILITY, OR STORMWATER STRUCTURE.
4. ALL GAS, WATER, ELECTRIC, TELEPHONE, SANITARY, COMMUNICATION SERVICES SHALL BE INSTALLED UNDERGROUND.
5. CONTRACTOR SHALL FIELD VERIFY LOCATION OF THE EXISTING WATER SERVICE PRIOR TO BUILDING DEMOLITION COMMENCES. SERVICE LINE MUST HAVE CORPORATION STOP SHUT OFF AT THE MAIN AND PLUGGED PRIOR TO ABANDONING IN PLACE.
6. NO GROUNDING OF ELECTRICAL SERVICE TO COPPER WATER SERVICE.

SEQUENCE OF CONSTRUCTION

1. CONTACT MONTGOMERY COUNTY CONSERVATION DISTRICT AND CONSHOHOCKEN BOROUGH AT LEAST THREE WORKING DAYS PRIOR TO SITE DISTURBANCE.
2. STAKE THE LIMITS OF DISTURBANCE.
3. INSTALL COMPOST FILTER SOCK, TREE PROTECTION FENCING, AND ROCK CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN.
4. WORKING IN A DOWNSTREAM TO UPSTREAM DIRECTION, INSTALL THE PROPOSED BASIN OUTFALL AND APRON WITH STORM CULVERT CONNECTION TO PROPOSED SEEPAGE PIT. INSTALL FOUNDATION DRAIN SIMULTANEOUSLY WITH SEEPAGE PIT OUTFALL PIPE AND TIE IN.
5. ROUGH GRADE SITE FOR PROPOSED BUILDING FOUNDATIONS AND STORMWATER FACILITIES.
6. CONSTRUCT SEEPAGE PIT AND ASSOCIATED OBSERVATION PORT FOLLOWING THE "SEEPAGE PIT CONSTRUCTION SEQUENCE FOR PCSM BMP'S" SEQUENCE.
7. INSTALL CONNECTION SANITARY LINE TO PROPOSED BUILDING.
8. WORKING IN A DOWNSTREAM TO UPSTREAM DIRECTION, INSTALL STORMWATER PIPES AND INLETS AT LOCATIONS SHOWN ON THE PLAN. INLET FILTER BAGS SHALL BE INSTALLED UNTIL FINAL STABILIZATION OF THE SITE IS ACHIEVED.
9. CONSTRUCT BUILDING FOUNDATIONS.
10. PERFORM SITE WORK GRADING.
11. INSTALL TELEPHONE AND ELECTRICAL CONDUIT ON SITE AS SHOWN ON THE PLAN.
12. COMPLETE BUILDING CONSTRUCTION INCLUDING UTILITY CONNECTION WITH PREVIOUSLY INSTALLED SITE UTILITY CONNECTIONS.
13. CONSTRUCT PROPOSED DRIVEWAY BY INSTALLING AND COMPACTING GRAVEL AND CONSTRUCT PROPOSED WALKWAYS AND PATIOS.
14. COMPLETE FINAL GRADING TO ACHIEVE PROPOSED DESIGN ELEVATIONS AND STABILIZE ALL DISTURBED AREAS.
15. CONSTRUCTION ENTRANCE MAY BE REMOVED UPON COMPLETION OF ALL PREVIOUS STEPS AND UPON STABILIZATION OF THE SITE.
16. EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION OF THE SITE, AS DEFINED BY 70% PERENNIAL VEGETATIVE COVER CAPABLE OF RESISTING EROSION.

GRADING AND DRAINAGE NOTES

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE: SANITARY SEWER LATERALS, DOMESTIC WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE UTILITY COMPANIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
2. CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM DEPICTED ON THE PLANS. FOR ADDITIONAL INFORMATION REQUIRED FOR CONSTRUCTION NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SPECIFIC SITEWORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF SUBMITTING AND ADDRESSING WRITTEN REQUESTS FOR INFORMATION.
3. SITE GRADING SHALL NOT PROCEED UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
4. PVC = POLYVINYLCHLORIDE PIPE, HDPE = HIGH DENSITY POLYETHYLENE PIPE, RCP = REINFORCED CONCRETE PIPE.
5. STORM DRAINAGE PIPING TO UTILIZE WATER TIGHT JOINTS.
6. COMPACTION CRITERIA FOR FILL PLACEMENT IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA GIVEN ELSEWHERE:

FILL AREA	PERCENT OF MAXIMUM MODIFIED PROCTOR DRY DENSITY
BUILDING FOOTPRINT	95%
PAVEMENT AND ROADWAYS	95%
SIDEWALKS	92%
LANDSCAPE AREAS	93%
TRENCH BACKFILL	SAME AS SURROUNDING AREA
7. PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION, INCLUDING CONCRETE TRUCKS AND DUMP TRUCKS.
8. REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO GRADE NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THEN BEST SUBGRADE MATERIAL ON SITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE, AND TRUE TO GRADE AND CROSS SECTION.
9. ALL CONCRETE, UNLESS OTHERWISE NOTED OR SPECIFIED BY REGULATORY AUTHORITIES, SHALL BE A MINIMUM OF 4,000 PSI.
10. THE CONTRACTOR SHALL REVIEW THE STORM DRAINAGE CONNECTIONS TO THE INLETS, MANHOLES, ETC. AND PROVIDE THE APPROPRIATE BOX SIZE, MANHOLES SIZE, ETC. AS NECESSARY TO ACCOMMODATE THE PROPOSED INLET AND OUTLET PIPES.
11. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE OWNER FOR ALL CATCH BASINS, MANHOLES, AND OTHER STORM AND SANITARY STRUCTURES.
12. DOYLESTOWN BOROUGH SHALL HAVE THE RIGHT TO ENTER PRIVATE PROPERTY TO INSPECT AND REPAIR, IF NECESSARY, ANY STORMWATER MANAGEMENT FACILITY.
13. ALL STORMWATER MANAGEMENT FACILITIES ARE A PERMANENT PART OF THE DEVELOPMENT AND SHALL NOT BE REMOVED, ALTERED OR MODIFIED WITHOUT PRIOR APPROVAL FROM DOYLESTOWN BOROUGH.

PLANTING SOILS NOTES

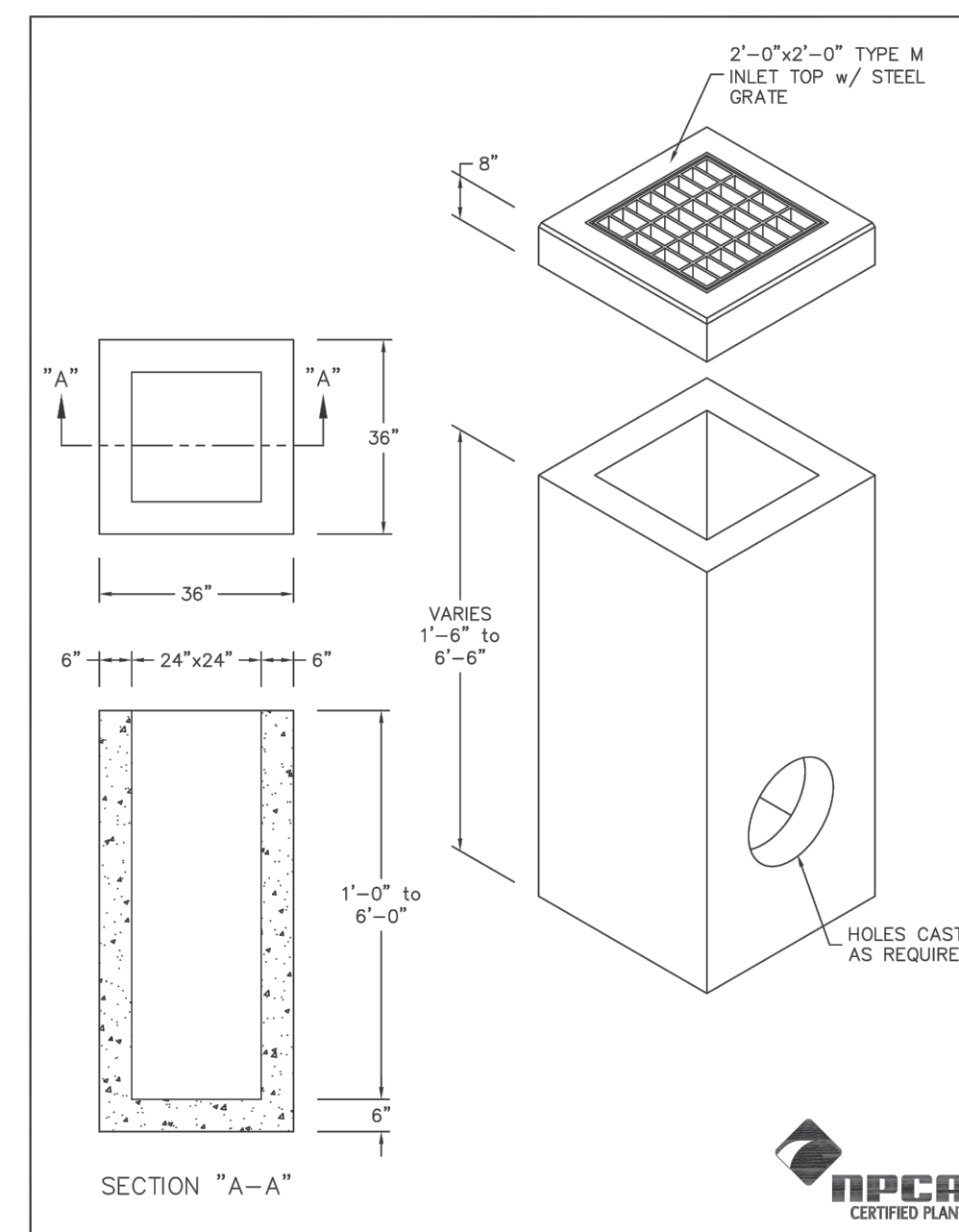
1. WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.
2. SCARIFY AND/OR TILL ALL COMPACTED SUBSOILS PRIOR TO ADDING PLANTING SOIL OR TOPSOIL. PLANTING SOILS AND TOPSOIL SHALL BE PLACED IN 12-18" LIFTS THAT ARE LOOSELY COMPACTED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.
3. REFER TO LANDSCAPE PLAN C4.0 FOR ADDITIONAL NOTES.

Symbol	Unit Name	HSG	Hydric	Depth to Water	Depth to Bedrock	Fairland Classification
UgdD	Urban land-Ud(urban), silt and gneiss complex, 6 to 25 Percent Slopes	C	N	60 inches	20-70 inches	N/A

SOIL LIMITATIONS AND RESOLUTION:

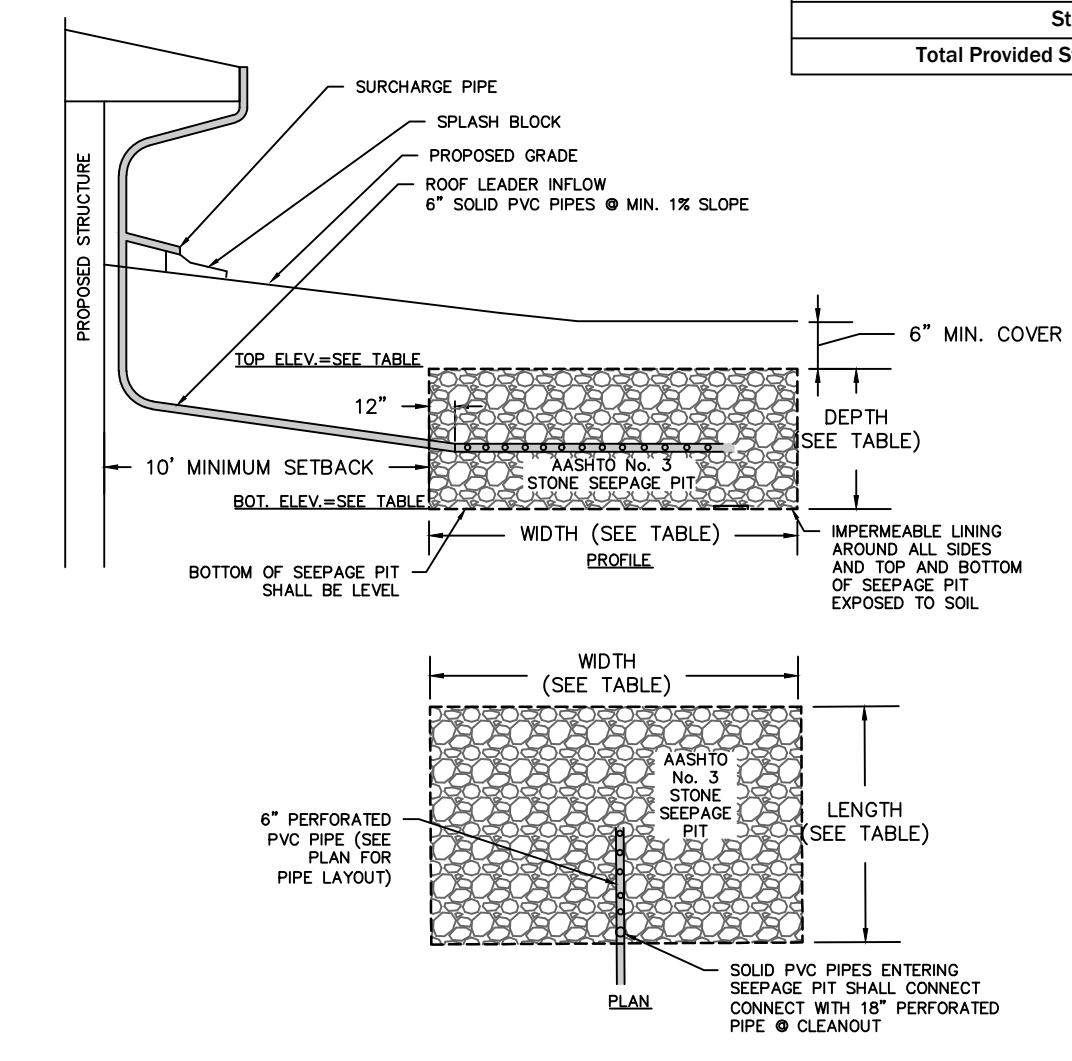
THE SOILS FOUND WITHIN THE PROJECT LIMITS HAVE LIMITATIONS DUE TO SHALLOW DEPTH TO GROUNDWATER AND POSSIBLE SHALLOW DEPTH TO BEDROCK. IN ORDER TO RESOLVE THIS ISSUE, ANY STANDING WATER SHOULD BE PUMPED THROUGH A SEDIMENT FILTER BAG DURING CONSTRUCTION, AND THE CONTRACTOR SHALL ENSURE THAT THE DWELLINGS ARE PROPERLY WATERPROOFED TO AVOID GROUNDWATER ISSUES POST-CONSTRUCTION. FOR AREAS WHERE SHALLOW BEDROCK IS A LIMITATION, CONTRACTOR SHALL DETERMINE WHETHER ROCK IS RIPPARABLE. IF ROCK IS NOT RIPPARABLE, BLASTING WILL BE REQUIRED. ALL BLASTING SHALL MEET LOCAL, COUNTY, STATE AND FEDERAL REGULATIONS.

LIMIT OF DISTURBANCE = 0.14 ACRES



MONARCH PRECAST CONCRETE CORP.
425 NORTH DALPHIN STREET ALLENTOWN, PA 18109 PHONE (610) 435-6746
WWW.MONARCHPRECAST.COM FAX (610) 437-1133

YARD INLET WITH GRATE DETAIL

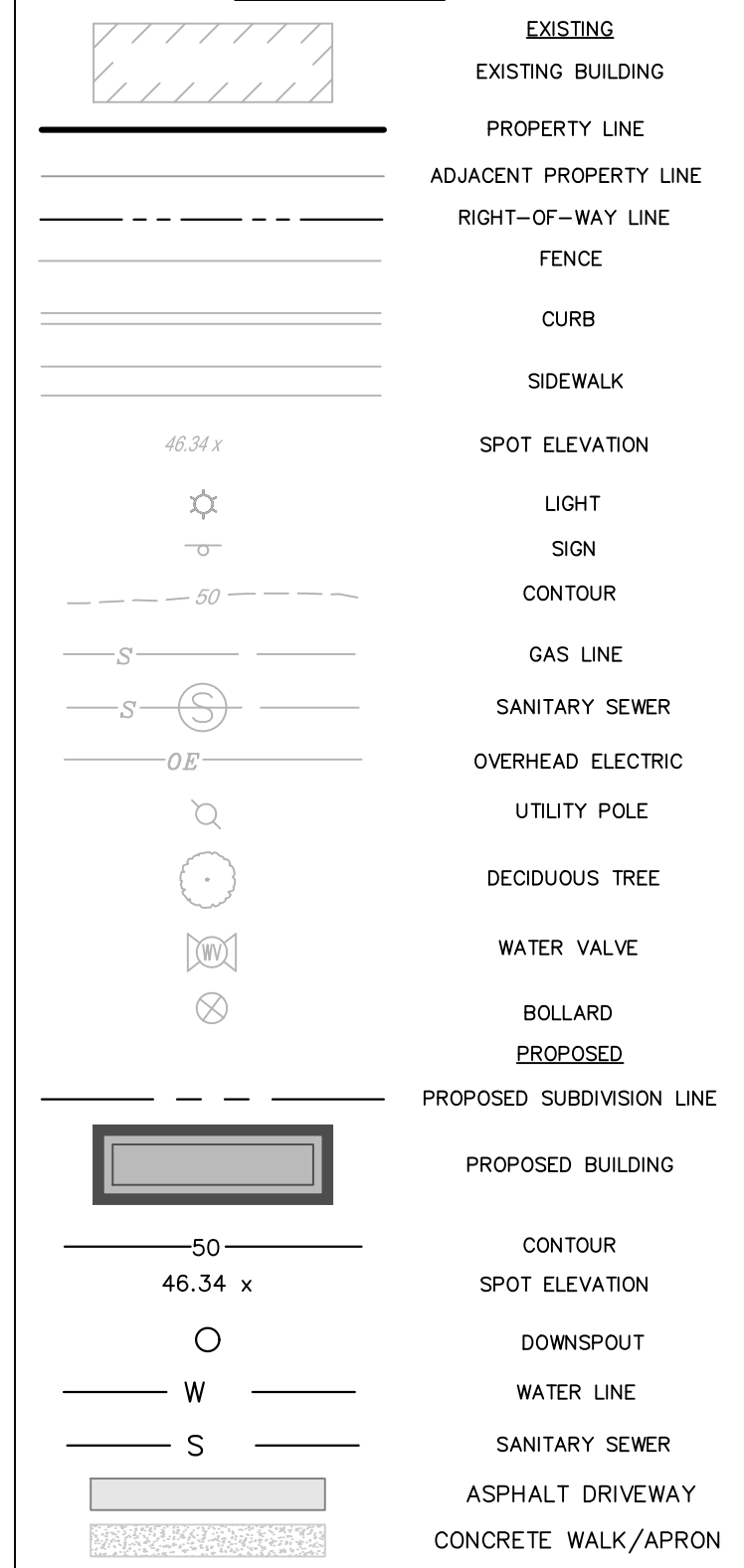


SEEPAGE PIT #	DEPTH (FT)	WIDTH (FT)	LENGTH (FT)	TOP OF GRADE ELEV.	TOP OF STONE ELEV.	BOTTOM OF STONE ELEV.	18\"/>
1	4.00	14.00	18.00	148.50	148.00	144.00	145.00

1. MAINTAIN MINIMUM SEPARATION BETWEEN SEEPAGE BED AND BUILDING FOUNDATION WALL OF 10 FEET.
2. DO NOT CONSTRUCT INFILTRATION FACILITY UPSLOPE OF DWELLING.
3. EXCAVATION FOR THE INFILTRATION FACILITY SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE SEEPAGE PIT.
4. THE BOTTOM OF THE SEEPAGE BED SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE.
5. THE OWNER IS RESPONSIBLE FOR THE PROPER OPERATION AND MAINTENANCE OF THE SEEPAGE BED. THE OWNER SHALL INSPECT, CLEAN, REMOVE SILT OR OTHER DEBRIS AND OTHERWISE MAINTAIN THE SEEPAGE PITS IN PROPER WORKING ORDER.
6. IN AREAS THAT WILL BE TRAVELED BY CONSTRUCTION VEHICLES/EQUIPMENT, SEEPAGE PIT SHALL BE PROTECTED FROM COMPACTION WITH STEEL PLATING DURING CONSTRUCTION UNTIL INSTALLATION OF THE PROPOSED DRIVEWAY SUBBASE.

SEEPAGE PIT DETAIL

LEGEND



Volume Control

Small Project Stormwater Management Site Plan

Stormwater facilities shall capture the runoff volume from at least the first two inches of runoff from all new impervious surfaces.
Volume (CF) = (2" Runoff / 12 inches) * New Impervious Area (SF)
New Impervious Area (SF) = 1,664
Total Required Volume (CF) = 277
Total Provided Volume (CF) = 449

STRUCTURAL BMP'S

SEEPAGE BED

Stormwater BMP consisting of continuously perforated pipe in a stone-filled (40% voids) bed. Bed max depth 6 ft; Bed wrapped in impermeable linear and placed on uncompacted soils; minimum 6" topsoil over bed.

Volume of Trench = (Depth x Width x Length) x Vol. of Pipe) x Void Space of gravel bed

Set Depth (FT) = 4.00
Set Width (FT) = 14
Length (FT) = 18
Storage Volume (CF) = 373
Volume of Pipe = (Pi x (Diameter/2)^2) x Length
Diameter (FT) = 1.5
Length (FT) = 43
Storage Volume (CF) = 76
Total Provided Storage Volume (CF) = 449

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Doylestown, PA 18901
(215) 586-3330
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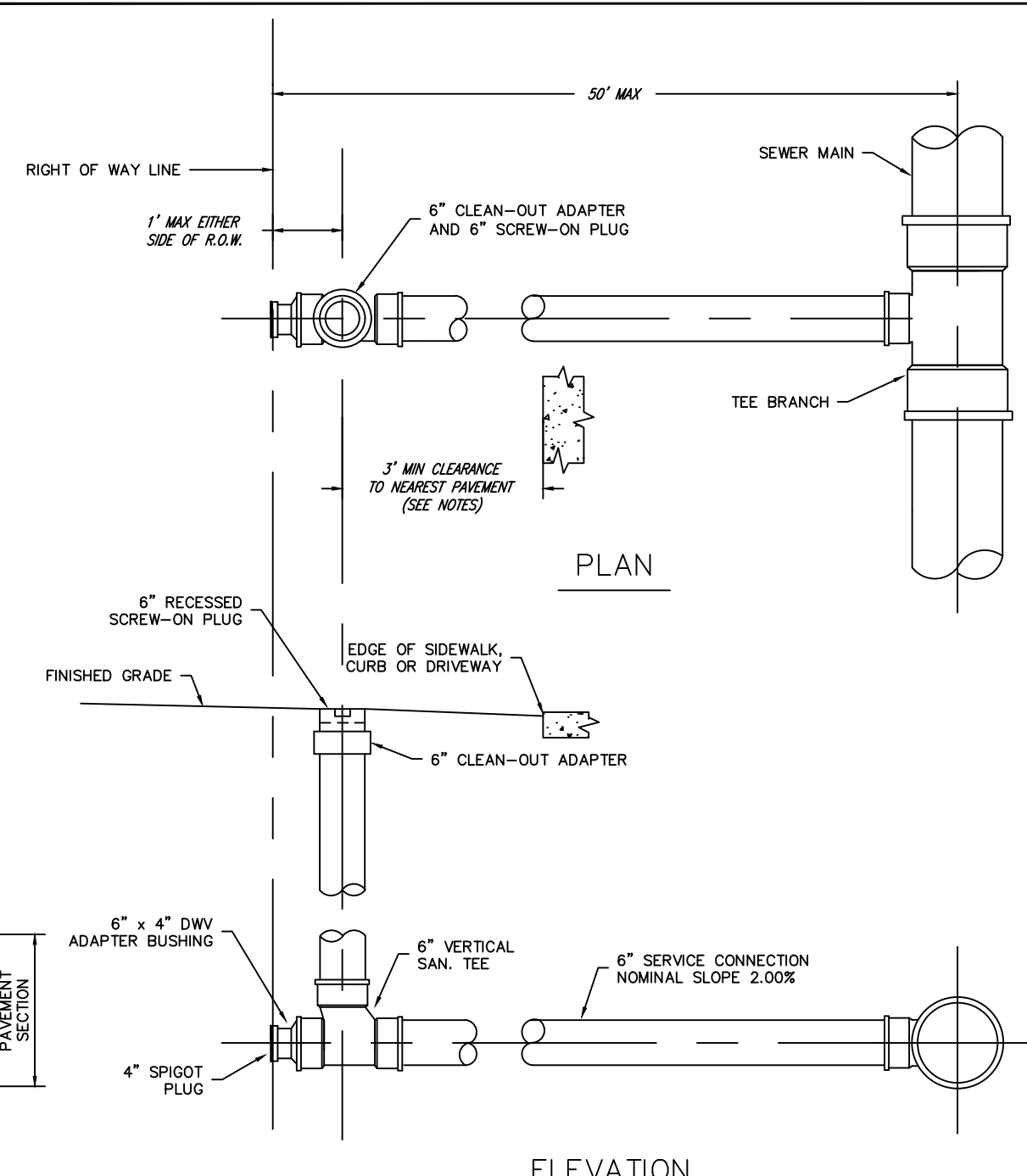
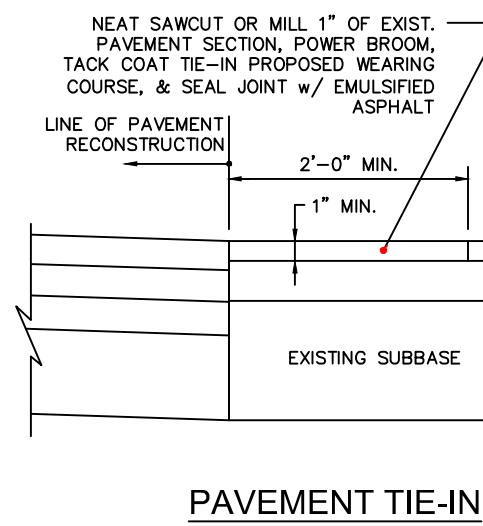
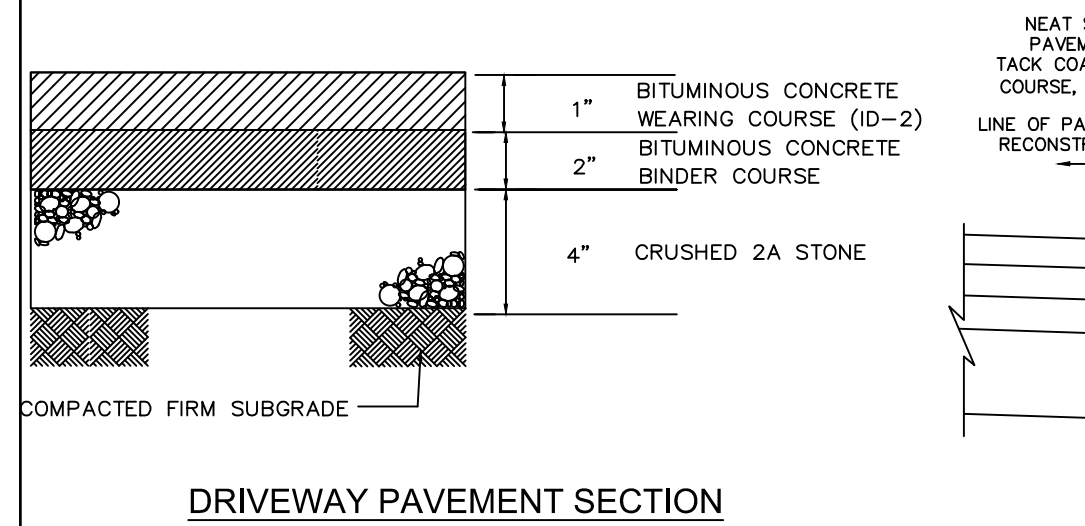
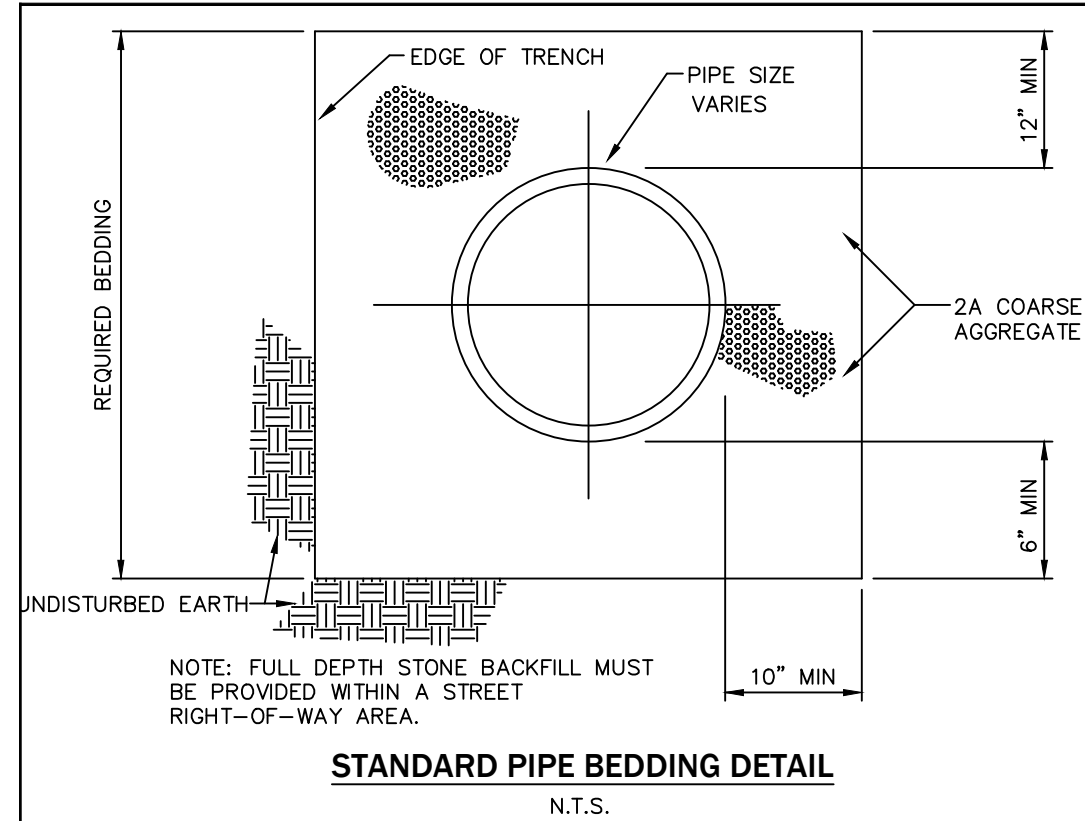
REVISIONS	Description	Date

124 W. 1ST AVENUE
TMP# 05-00-03948-00-7
CONSHOHOCKEN BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA

IMPROVEMENT CONSTRUCTION PLAN
ROBERT T. CUNNINGHAM, P.E.
PA PE076424

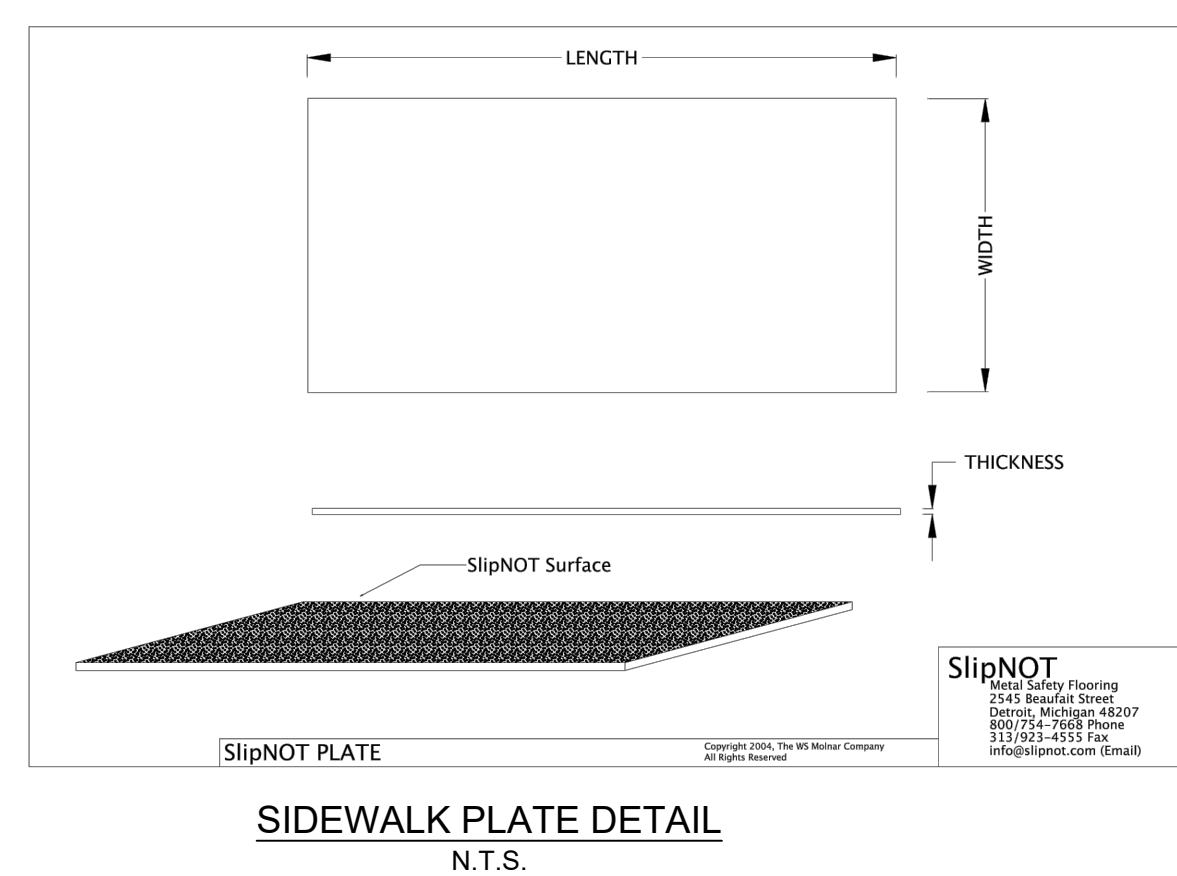
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Date	01/6/2022
Scale	1"=10'
Designed	RC
Sheet	3 of 5

Drawing No.
C2.0



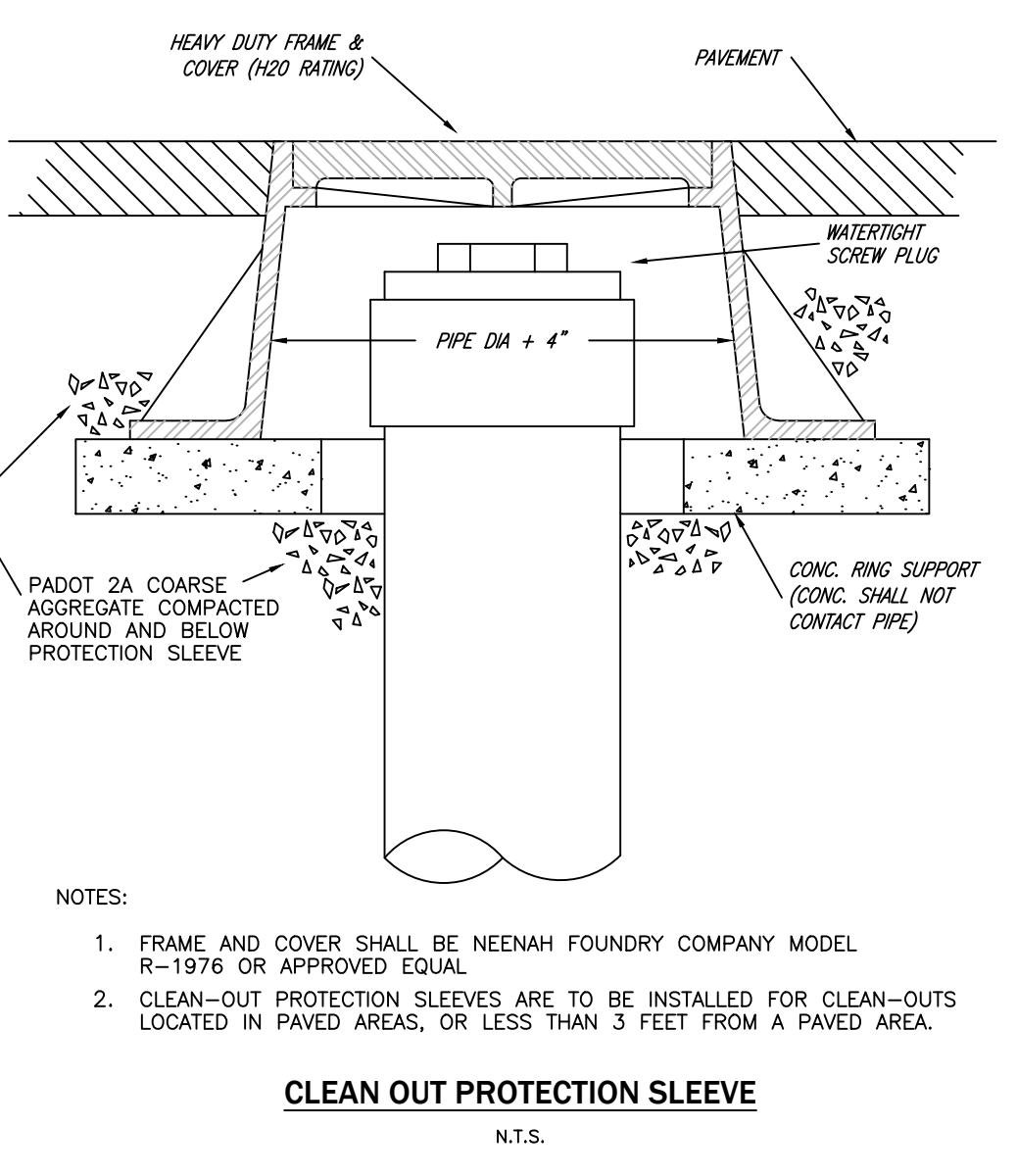
NOTES:
 CLEAN-OUTS SHALL NOT NORMALLY BE LOCATED IN OR NEAR PAVED AREAS. UNDER SPECIAL CONDITIONS A CLEAN-OUT LOCATED IN, OR LESS THAN 3 FEET FROM, A PAVED AREA MAY BE ACCEPTABLE IF A PROTECTION SLEEVE AS SHOWN IN DETAIL S-21 IS PROVIDED.

SERVICE CONNECTION SHALLOW SEWER
 N.T.S.



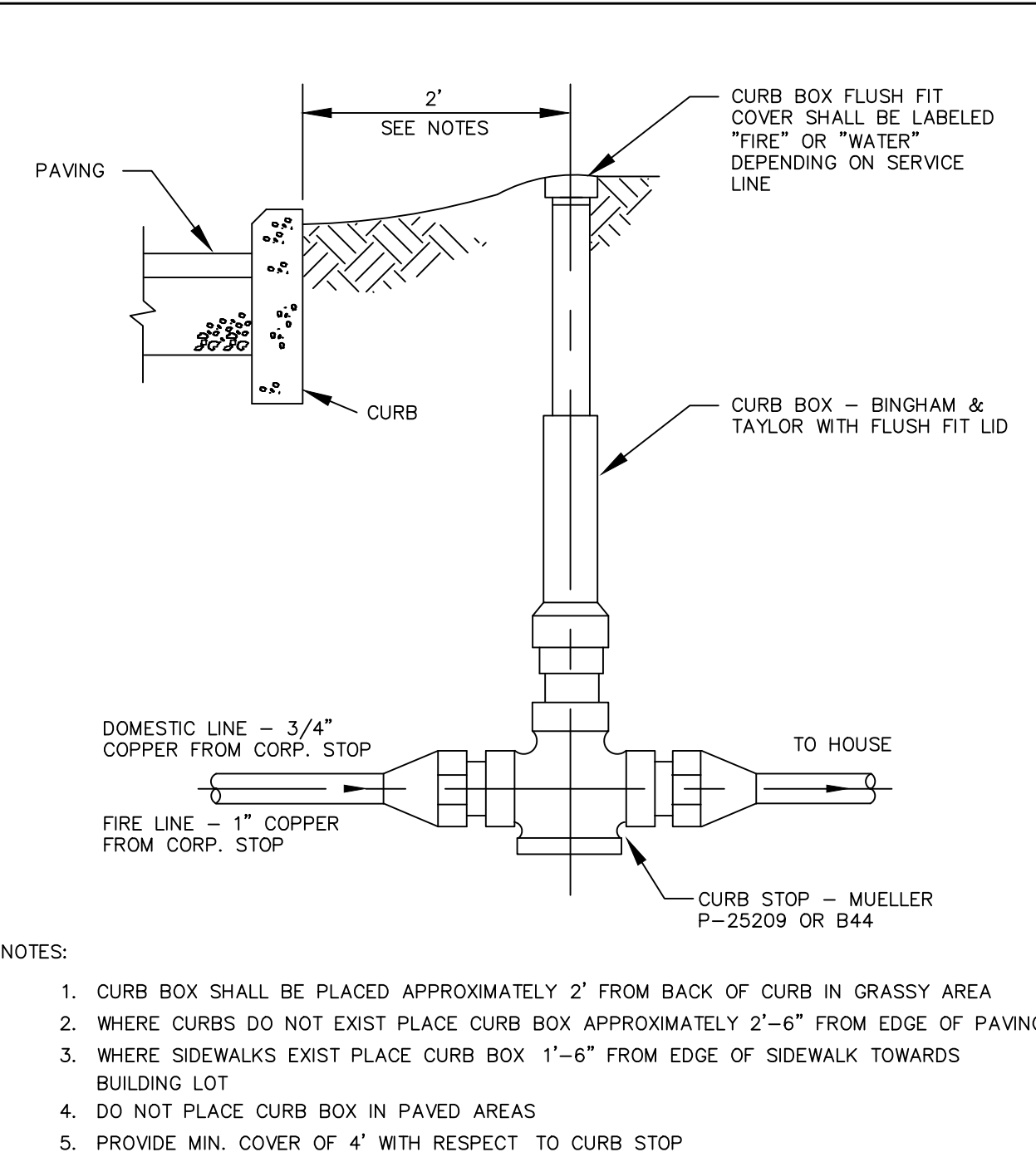
- NOTES:
- SIDEWALK IS TO BE PROVIDED, PLACED, CURED AND FINISHED TO PENNDOT SPECIFICATIONS PUB. 408 (CURRENT EDITION), SECTIONS 704 AND 1001. TYPE A CONCRETE (4,000 PSI, TWENTY-EIGHT-DAY STRENGTH) SHALL BE USED.
 - CONTRACTION JOINTS: SPACED AT EQUAL INTERVALS BETWEEN EXPANSION JOINTS, NOT TO EXCEED 5 FEET FOR SIDEWALKS TO BE FORMED BY DIVISION PLATES OR CUTTING GROOVE INTO CONCRETE SURFACE NOT LESS THAN 1/3 ENTIRE DEPTH OF SLAB.
 - DRAINAGE SLOPE TO BE MAINTAINED AT 2.0%.
 - EXPANSION JOINTS TO BE ONE-HALF-INCH PRECLUDED, BITUMINOUS, EXPANSION JOINT MATERIAL AT THIRTY-FOOT INTERVALS, NEXT TO BUILDINGS, POLES, STRUCTURES AND CURBS; AROUND INTERSECTIONS OF TWO WALKS; DRIVEWAY APRON JOINT TO WALL, CURB OR SIDEWALK; AND AT ENDS OF ALL WALKS AND CURBS INCLUDING RADIUS CURBS.
 - MINIMUM NO. 9, SIX BY SIX MESH TO BE USED IN CONCRETE DRIVEWAY CONSTRUCTION.
 - CONTRACTION JOINTS ARE TO BE PLACED EVERY 5' AND EXPANSION JOINTS ARE TO BE PLACED EVERY 20'.
 - A 4" THICK 2B STONE BASE IS REQUIRED.
 - CLASS A CONCRETE IS TO BE USED FOR SIDEWALK CONSTRUCTION.

SIDEWALK



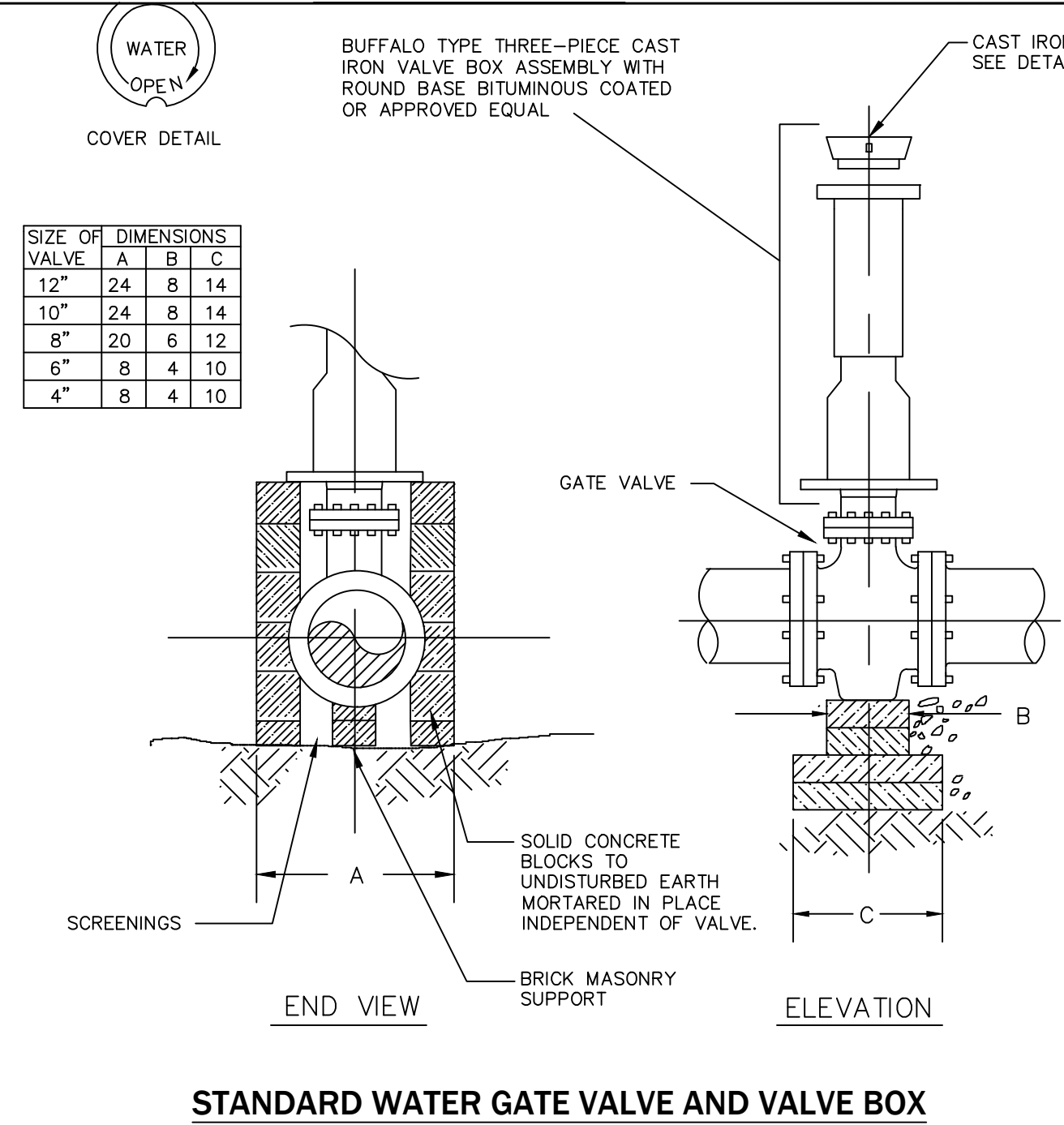
- NOTES:
- FRAME AND COVER SHALL BE NENAH FOUNDRY COMPANY MODEL R-1976 OR APPROVED EQUAL.
 - CLEAN-OUT PROTECTION SLEEVES ARE TO BE INSTALLED FOR CLEAN-OUTS LOCATED IN PAVED AREAS, OR LESS THAN 3 FEET FROM A PAVED AREA.

CLEAN OUT PROTECTION SLEEVE
 N.T.S.

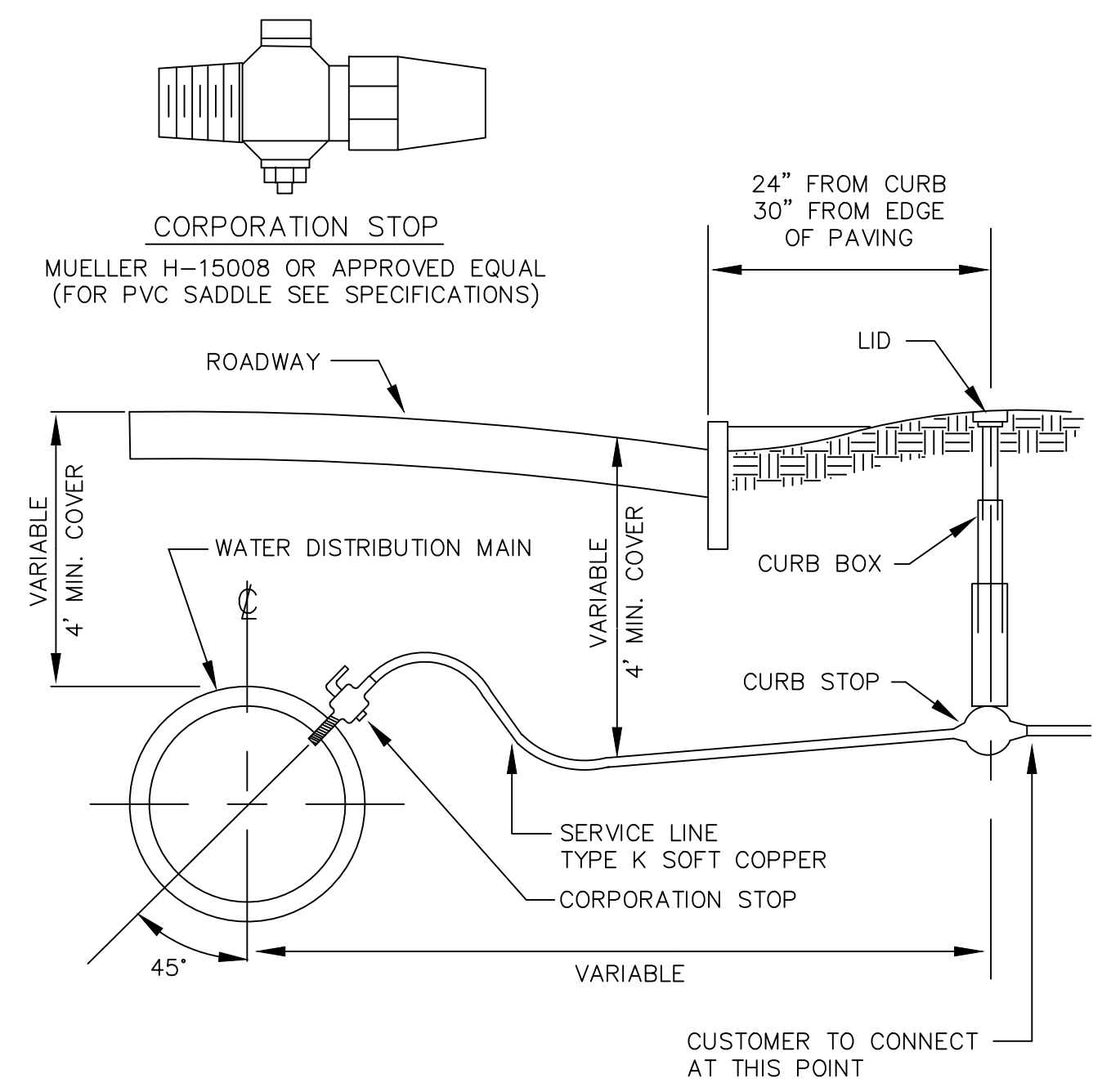


- NOTES:
- CURB BOX SHALL BE PLACED APPROXIMATELY 2' FROM BACK OF CURB IN GRASSY AREA
 - WHERE CURBS DO NOT EXIST PLACE CURB BOX APPROXIMATELY 2'-6" FROM EDGE OF PAVING
 - WHERE SIDEWALKS EXIST PLACE CURB BOX 1'-6" FROM EDGE OF SIDEWALK TOWARDS BUILDING LOT
 - DO NOT PLACE CURB BOX IN PAVED AREAS
 - PROVIDE MIN. COVER OF 4' WITH RESPECT TO CURB STOP

CURB STOP AND CURB BOX DETAIL
 N.T.S.

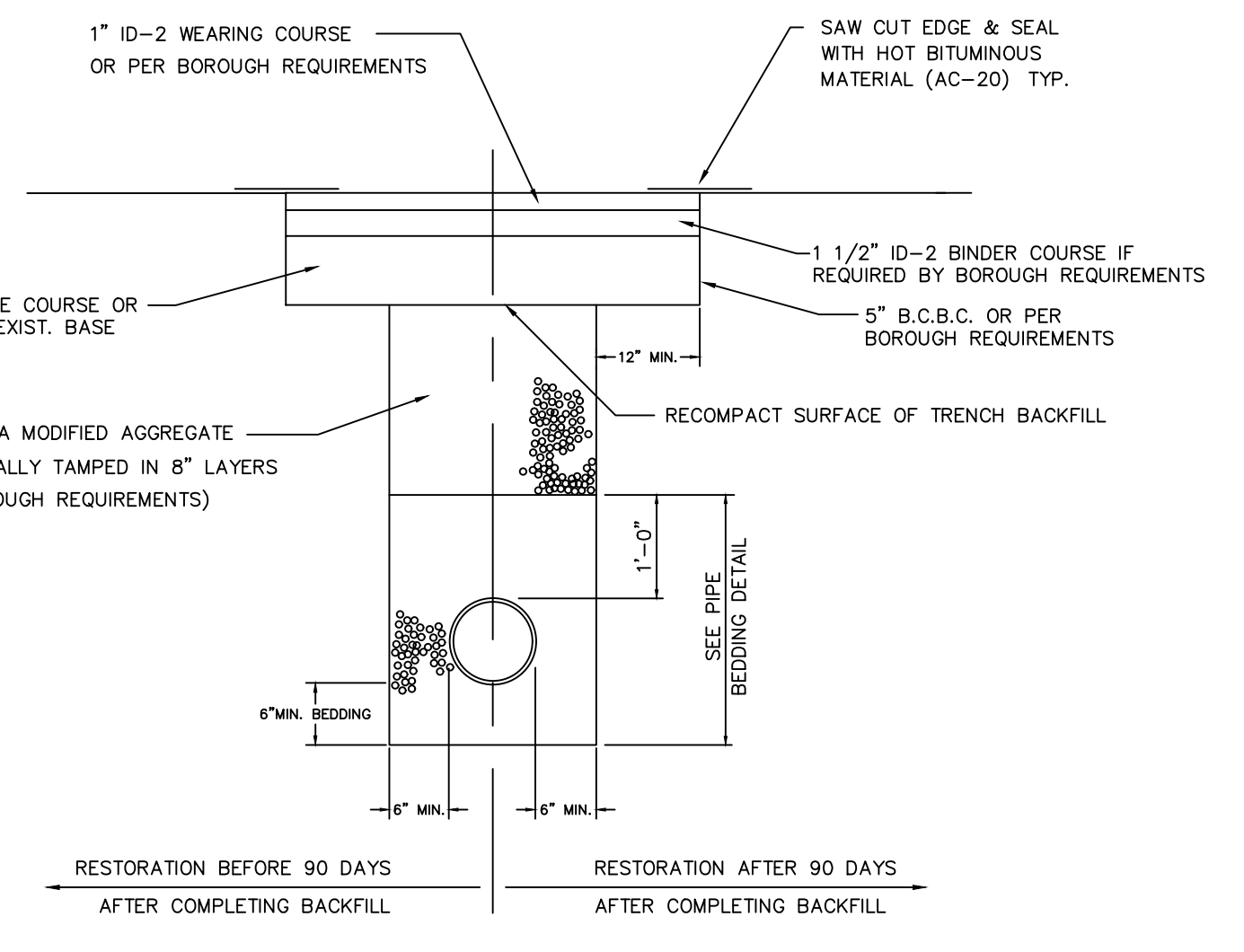


STANDARD WATER GATE VALVE AND VALVE BOX
 N.T.S.



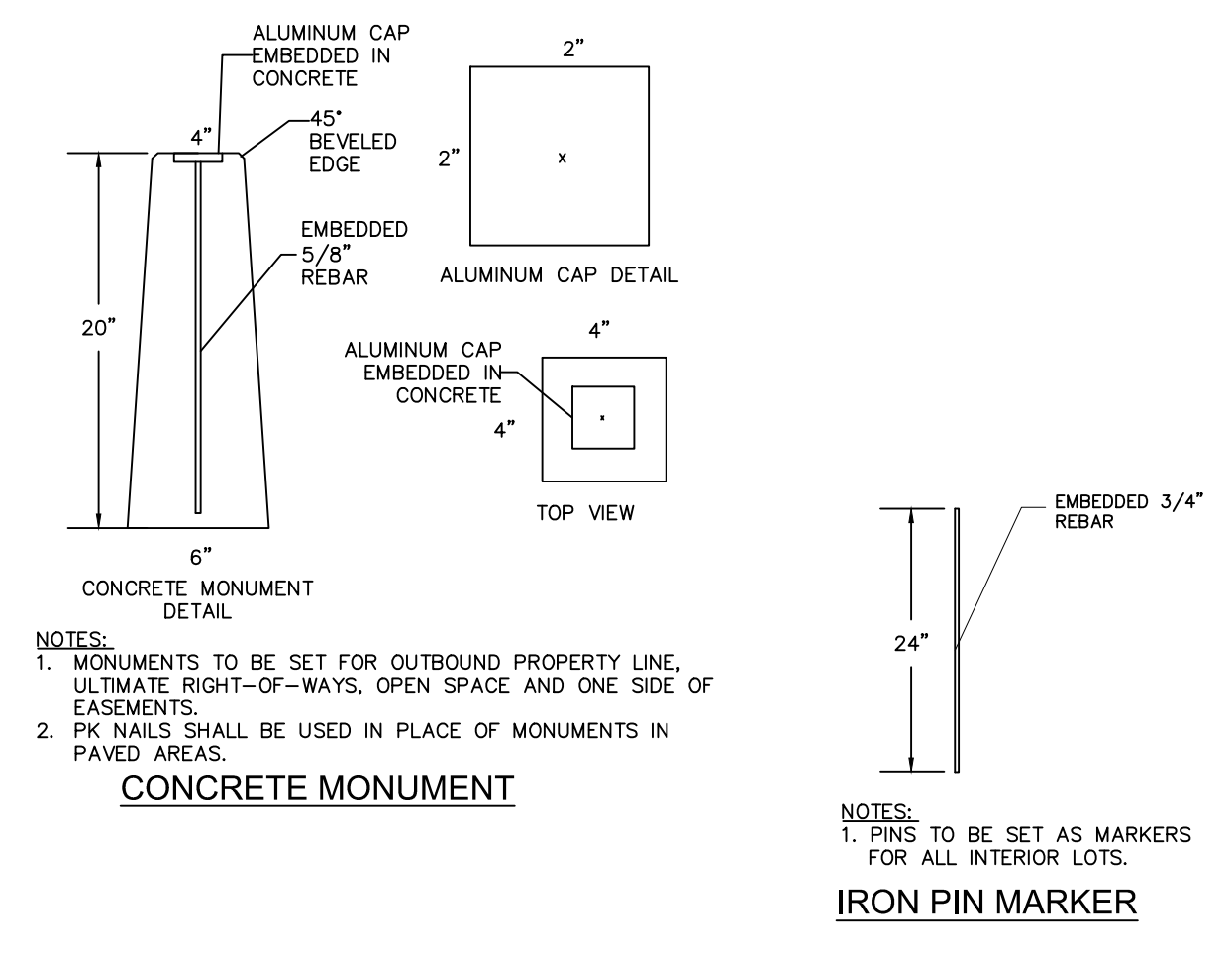
NOTE: FOR STANDARD 3/4" CONNECTION, THERE SHALL BE INSERTED IN MAIN A TAPPED COUPLING WITH THREADED INSERT OR DOUBLE-STRAPPED SADDLE CLAMP.

STANDARD WATER SERVICE CONNECTION
 (NTS)



NOTE: SPECIAL CONDITIONS OF OCCUPANCY PERMIT MAY SUPERSEDE THIS DETAIL

PAVEMENT AND TRENCH RESTORATION
 N.T.S.



- NOTES:
- MONUMENTS TO BE SET FOR OUTBOUND PROPERTY LINE, ULTIMATE RIGHT-OF-WAYS, OPEN SPACE AND ONE SIDE OF EASEMENTS.
 - PK NAILS SHALL BE USED IN PLACE OF MONUMENTS IN PAVED AREAS.

CONCRETE MONUMENT

NOTE: 1. PINS TO BE SET AS MARKERS FOR ALL INTERIOR LOTS.
IRON PIN MARKER

Holmes Cunningham LLC
 409 E. Butler Ave.,
 Unit 5
 Doylestown, PA 18901
 (215) 586-3330
 www.hcengineering.net

REVISIONS	Description	Date

124 W. 1ST AVENUE
 TMP# 05-00-03948-00-7
 CONSHOHOCKEN BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA

CALL BEFORE YOU DIG!!
 STOP & CALL
 1-800-942-1776

UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR. UTILITY COMPANIES PROVIDE TO ANY FACILITATION.

ROBERT T. CUNNINGHAM, P.E.
 PA PE076424

File No.	1663_C2_0_Improvement.DWG
HCE Job	1663
Date	01/6/2022
Scale	N.T.S.
Designed	RC
Sheet	4 of 5

Drawing No.
C2.1

BMP MAINTENANCE/RESTRICTIONS PLAN
NOTE: AN ANNUAL REPORT SHALL BE SUBMITTED TO THE TOWNSHIP STATING THE FOLLOWING MAINTENANCE HAS BEEN PERFORMED.

THE OWNER OF EACH INDIVIDUAL LOT IS RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER CONVEYANCE SYSTEM AND ALL PROPOSED STORMWATER BMP'S ON THEIR RESPECTIVE LOT. EACH SEEPAGE PIT WILL HAVE IRON PINS AT THE CORNERS TO DELINEATE ITS AREA.

1. STORMWATER CONVEYANCE SYSTEM

- CATCH BASINS, MANHOLES, AND PIPES TO BE INSPECTED FOR CLOGGING AND EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST ANNUALLY AS WELL AS AFTER EVERY STORM EXCEEDING 1-INCH OF RAINFALL.
- ALL STRUCTURAL COMPONENTS MUST BE INSPECTED FOR CRACKING, SUBSIDIENCE, BREACHING, WEARING, AND DETERIORATION AT LEAST ANNUALLY.

2. SEEPAGE PIT

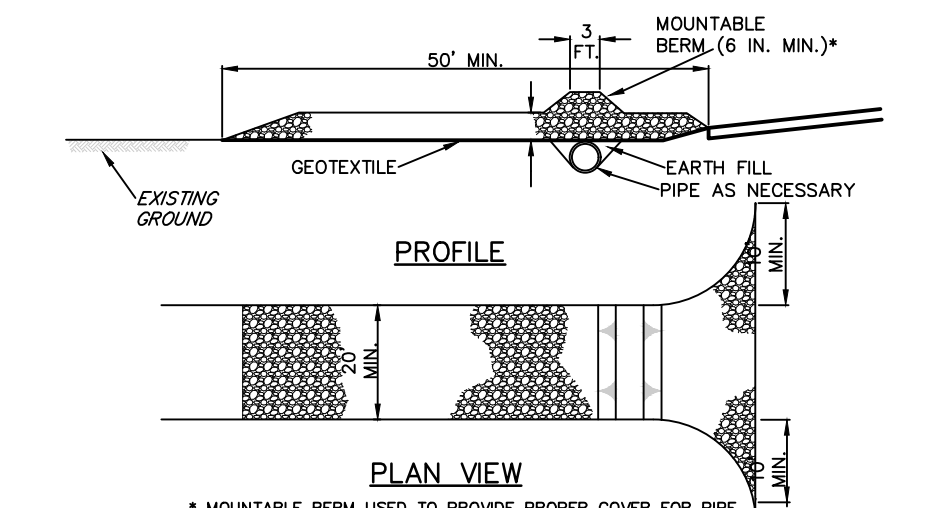
- INSPECT SEEPAGE PIT AT LEAST FOUR TIMES A YEAR, AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH.
- DISPOSE OF SEDIMENT, DEBRIS/TRASH, AND ANY OTHER WASTE MATERIAL REMOVED FROM A DRY WELL AT SUITABLE DISPOSAL/RECYCLING SITES AND IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL WASTE REGULATIONS.
- EVALUATE THE DRAIN-DOWN TIME OF THE PIT TO ENSURE THE MAXIMUM TIME OF 72 HOURS IS NOT BEING EXCEEDED. IF DRAIN-DOWN TIMES ARE EXCEEDING THE MAXIMUM, DRAIN THE DRY WELL VIA PUMPING AND CLEAN OUT PERFORATED PIPING, IF INCLUDED. IF SLOW DRAINAGE PERSISTS, THE SYSTEM MAY NEED REPLACING.
- REGULARLY CLEAN OUT CUTTERS AND ENSURE PROPER CONNECTIONS TO FACILITATE THE EFFECTIVENESS OF THE DRY WELL.
- REPLACE FILTER SCREEN THAT INTERFERES WITH ROOF RUNOFF AS NECESSARY.
- IF AN INTERMEDIATE SUMP BOX EXISTS, CLEAN IT OUT AT LEAST ONCE PER YEAR.
- NO STRUCTURES OR LANDSCAPING SHALL BE INSTALLED OVER ANY SEEPAGE PIT.

CONSTRUCTION SEQUENCE FOR PCSM BMPs

SITE SPECIFIC CONSTRUCTION SEQUENCE
1. REFER TO THIS SHEET FOR SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SEQUENCE.
2. ONCE ALL UPSTREAM MEASURES FOR EACH BMP HAVE BEEN STABILIZED ON EACH LOT, THE INDIVIDUAL BMP FOR THAT LOT MAY BE CONSTRUCTED PER THE SEQUENCES IDENTIFIED BELOW.

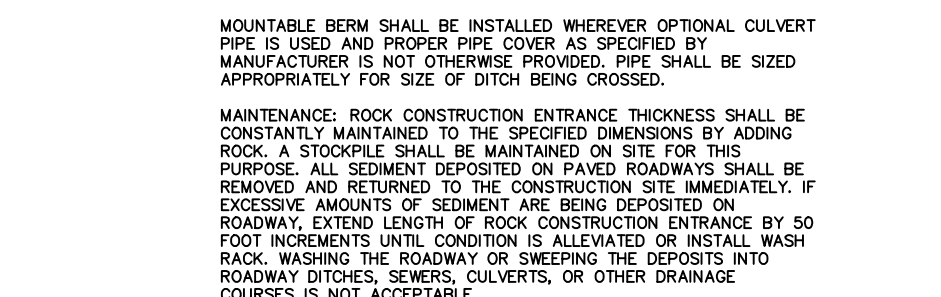
SEEPAGE PIT
1. PROTECT INFILTRATION AREA FROM COMPACTION PRIOR TO INSTALLATION.
2. IF POSSIBLE, INSTALL DRY WELLS DURING LATER PHASES OF CONSTRUCTION TO PREVENT SEDIMENTATION AND/OR DAMAGE FROM CONSTRUCTION ACTIVITY.
3. INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION AS PER THE PENNSYLVANIA EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (MARCH 2000, OR LATEST EDITION).
4. EXCAVATE DRY WELL BOTTOM TO A UNIFORM, LEVEL UNCOMPACTED SUBGRADE FREE FROM ROCKS AND DEBRIS. DO NOT COMPACT SUBGRADE TO THE GREATEST EXTENT POSSIBLE. EXCAVATION SHOULD BE PERFORMED WITH THE LIGHTEST PRACTICAL EQUIPMENT. EXCAVATION EQUIPMENT SHOULD BE PLACED OUTSIDE THE LIMITS OF THE DRY WELL.
5. COMPLETELY WRAP DRY WELL WITH NONWOVEN GEOTEXTILE. (IF SEDIMENT AND/OR DEBRIS HAVE ACCUMULATED PRIOR TO GEOTEXTILE PLACEMENT.) GEOTEXTILE ROLLS SHOULD OVERLAP BY A MINIMUM OF 24 INCHES WITHIN THE TRENCH. FOLD BACK AND SECURE EXCESS GEOTEXTILE DURING STONE PLACEMENT.
6. INSTALL CONTINUOUSLY PERFORATED PIPE, OBSERVATION WELLS, AND ALL OTHER DRY WELL STRUCTURES. CONNECT ROOF LEADERS TO STRUCTURES AS INDICATED ON PLANS.
7. PLACE UNIFORM GRADED, CLEAN-WASHED AGGREGATE IN 6-INCH LIFTS, LIGHTLY COMPACTING BETWEEN LIFTS.
8. FOLD AND SECURE NONWOVEN GEOTEXTILE OVER TRENCH, WITH MINIMUM OVERLAP OF 12-INCHES.
9. PLACE 12-INCH LIFT OF APPROVED TOPSOIL OVER TRENCH, AS INDICATED ON PLANS.
10. SEED AND STABILIZE TOPSOIL.
11. CONNECT SURCHARGE PIPE TO ROOF LEADER AND POSITION OVER SPLASHBOARD.
12. INSTALL IRON PINS AT THE CORNERS OF EACH PIT TO DENOTE AREA OF RESTRICTIONS.
13. DO NOT REMOVE EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

- CONSTRUCTION SEQUENCE FOR SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SEQUENCE**
- ONCE ALL UPSTREAM MEASURES FOR EACH BMP HAVE BEEN STABILIZED ON EACH LOT, THE INDIVIDUAL BMP FOR THAT LOT MAY BE CONSTRUCTED PER THE SEQUENCES IDENTIFIED BELOW.
- SEEPAGE PIT**
- PROTECT INFILTRATION AREA FROM COMPACTION PRIOR TO INSTALLATION.
 - IF POSSIBLE, INSTALL DRY WELLS DURING LATER PHASES OF CONSTRUCTION TO PREVENT SEDIMENTATION AND/OR DAMAGE FROM CONSTRUCTION ACTIVITY.
 - INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION AS PER THE PENNSYLVANIA EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (MARCH 2000, OR LATEST EDITION).
 - EXCAVATE DRY WELL BOTTOM TO A UNIFORM, LEVEL UNCOMPACTED SUBGRADE FREE FROM ROCKS AND DEBRIS. DO NOT COMPACT SUBGRADE TO THE GREATEST EXTENT POSSIBLE. EXCAVATION SHOULD BE PERFORMED WITH THE LIGHTEST PRACTICAL EQUIPMENT. EXCAVATION EQUIPMENT SHOULD BE PLACED OUTSIDE THE LIMITS OF THE DRY WELL.
 - COMPLETELY WRAP DRY WELL WITH NONWOVEN GEOTEXTILE. (IF SEDIMENT AND/OR DEBRIS HAVE ACCUMULATED PRIOR TO GEOTEXTILE PLACEMENT.) GEOTEXTILE ROLLS SHOULD OVERLAP BY A MINIMUM OF 24 INCHES WITHIN THE TRENCH. FOLD BACK AND SECURE EXCESS GEOTEXTILE DURING STONE PLACEMENT.
 - INSTALL CONTINUOUSLY PERFORATED PIPE, OBSERVATION WELLS, AND ALL OTHER DRY WELL STRUCTURES. CONNECT ROOF LEADERS TO STRUCTURES AS INDICATED ON PLANS.
 - PLACE UNIFORM GRADED, CLEAN-WASHED AGGREGATE IN 6-INCH LIFTS, LIGHTLY COMPACTING BETWEEN LIFTS.
 - FOLD AND SECURE NONWOVEN GEOTEXTILE OVER TRENCH, WITH MINIMUM OVERLAP OF 12-INCHES.
 - PLACE 12-INCH LIFT OF APPROVED TOPSOIL OVER TRENCH, AS INDICATED ON PLANS.
 - SEED AND STABILIZE TOPSOIL.
 - CONNECT SURCHARGE PIPE TO ROOF LEADER AND POSITION OVER SPLASHBOARD.
 - INSTALL IRON PINS AT THE CORNERS OF EACH PIT TO DENOTE AREA OF RESTRICTIONS.
 - DO NOT REMOVE EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

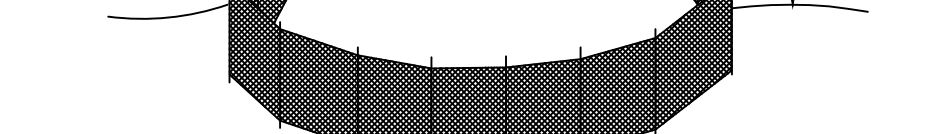
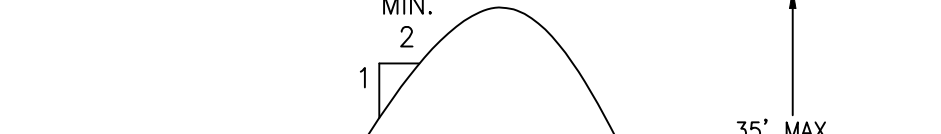
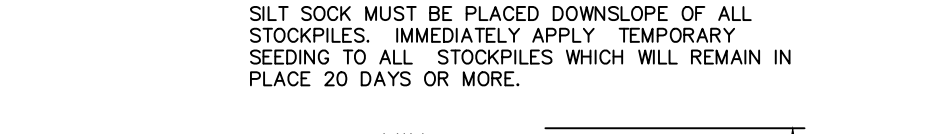
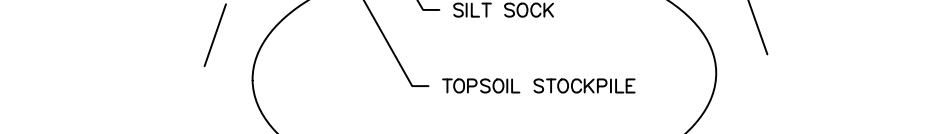
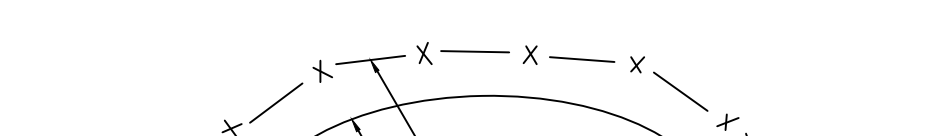


**STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE**

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.



**STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE**



UTILITY TRENCHING GUIDELINES

- CONSTRUCTION REQUIREMENTS -
 - LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
 - WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
 - LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
 - WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING AS REQUIRED, TO A FACILITY FOR REMOVAL OF SEDIMENTS IN ACCORDANCE WITH PA DEP GUIDELINES.
 - ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH WEEK.

- EXCEPTIONS - IN CERTAIN CASES TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED IN THESE CASES. ALL OF THE REQUIREMENTS LISTED UNDER ITEM 1 WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTIONS:
 - DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
 - IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS, APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES/FACILITIES WILL BE INSTALLED AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION STABILIZATION, AND MAINTENANCE OF ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR THE PROPER CONSTRUCTION AND STABILIZATION OF PERMANENT CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN.

DURING CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING INSPECTIONS OF THE BMPs AFTER EACH RUNOFF EVENT AS WELL AS ON A WEEKLY BASIS. THE CONTRACTOR SHALL KEEP A LOG OF ALL INSPECTIONS AND MAINTENANCE PERFORMED ON THE BMPs

THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PERMANENT CONTROL MEASURES.

SOIL SEDIMENT REMOVED FROM ANY TEMPORARY CONTROL MEASURE DURING REGULAR MAINTENANCE WILL BE INCORPORATED BACK INTO THE EARTHWORK AS FILL ON THE SITE. SOIL SEDIMENT MATERIAL SHALL BE DISTRIBUTED ON-SITE WITHOUT CHANGING DRAINAGE PATTERNS DURING A SPECIFIC CONSTRUCTION STAGE.

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CLEAN FILL NOTE

IF THE SITE WILL NEED TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL RESIDE WITH THE OPERATOR.

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK, OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

BMP MAINTENANCE

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION STABILIZATION, AND MAINTENANCE OF ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR THE PROPER CONSTRUCTION AND STABILIZATION OF PERMANENT CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN.

DURING CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING INSPECTIONS OF THE BMPs AFTER EACH RUNOFF EVENT AS WELL AS ON A WEEKLY BASIS. THE CONTRACTOR SHALL KEEP A LOG OF ALL INSPECTIONS AND MAINTENANCE PERFORMED ON THE BMPs

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EROSION / SEDIMENT CONTROL PLAN STANDARD NOTES

STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET; STOCKPILE SLOPES MUST NOT EXCEED 2:1V.

THE OPERATOR/RESPONSIBLE PERSON (O/RP) ON SITE SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.

IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE O/RP SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

THE O/RP SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE BUCKS COUNTY CONSERVATION DISTRICT AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS REGARDLESS OF THEIR LOCATIONS.

ALL PUMPING OF SEDIMENT-LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER UNDISTURBED AREAS.

A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.

EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.

AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING THE REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, THE O/RP SHALL INVITE ALL CONTRACTORS INVOLVED IN THAT ACTIVITY, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN DESIGNER AND THE BUCKS COUNTY CONSERVATION DISTRICT TO A PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED IN THAT ACTIVITY SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INC. AT 1-800-242-1776 TO DETERMINE ANY UNDERGROUND UTILITIES LOCATIONS.

IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITY CEASES, THE O/RP SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT SPECIFIED RATES. DISTURBED AREAS THAT ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS.

DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% (PERCENT) VEGETATIVE OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

UPON THE INSTALLATION OF TEMPORARY SEDIMENT BASIN RISER(S), A QUALIFIED SITE REPRESENTATIVE SHALL CONDUCT AN IMMEDIATE INSPECTION OF THE RISER(S), WHEREUPON THE BUCKS COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE RISER IS SEALED (WATERTIGHT).

AT STREAM CROSSING, A 50-FOOT BUFFER SHALL BE MAINTAINED. ON BUFFERS, CLEARINGS, SOOT DISTURBANCES AND EXCAVATIONS, EQUIPMENT TRAFFIC SHOULD BE MINIMIZED. ACTIVITY SUCH AS STACKING LOGS, BURNING CLEARED BRUSH, DISCHARGING RAINWATER FROM TRENCHES, WELDING PIPE SECTIONS, REFUELING AND MAINTAINING EQUIPMENT SHOULD BE AVOIDED WITHIN BUFFER ZONES.

UNTIL A SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.

SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN SOIL STOCKPILES AND STABILIZED.

ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.), AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.

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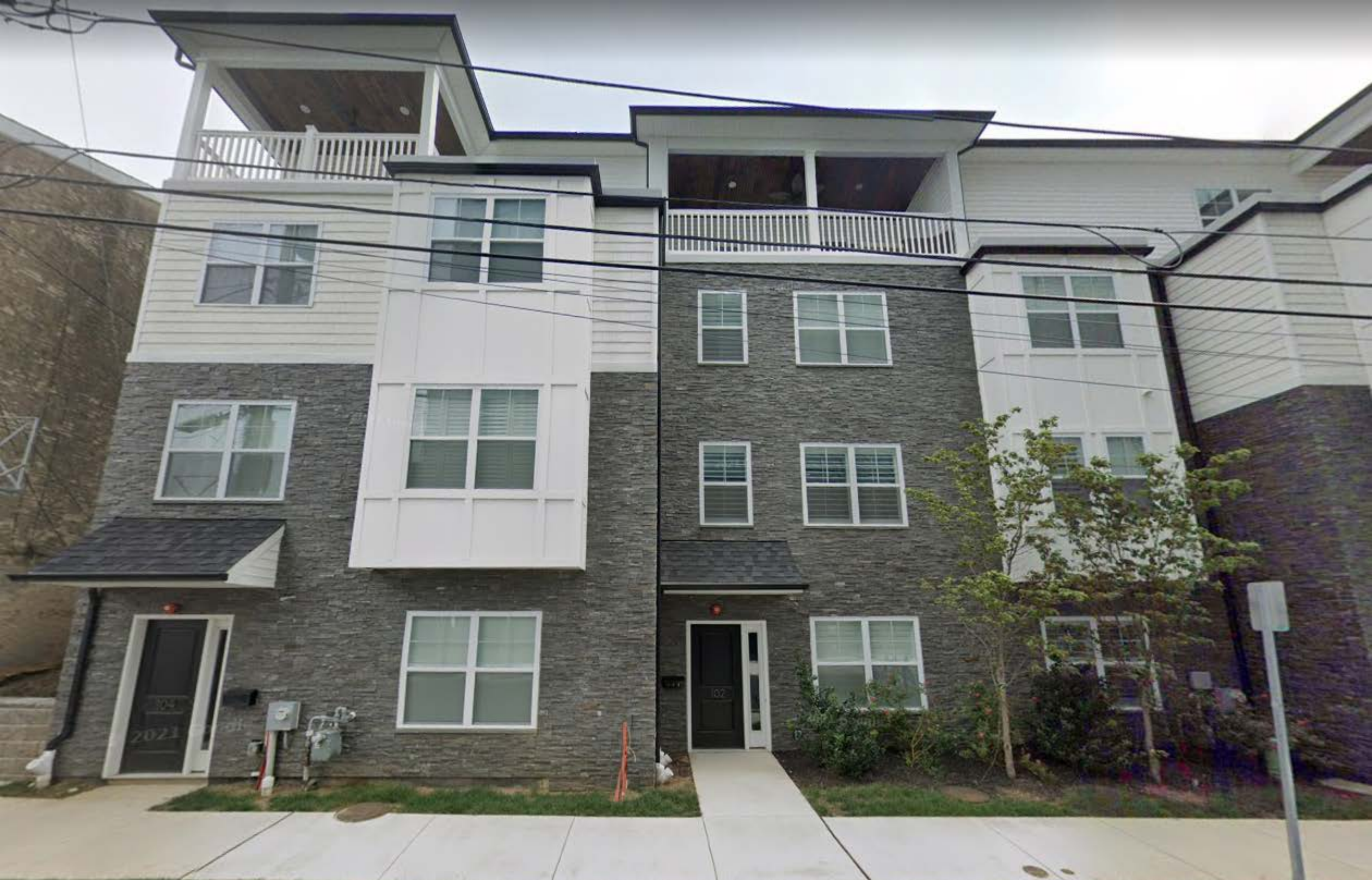


PHOTO OF PROPOSED
CONSTRUCTION STYLE



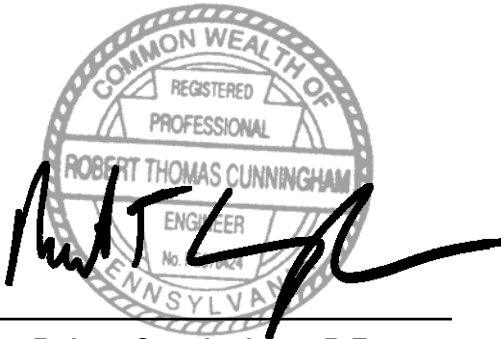




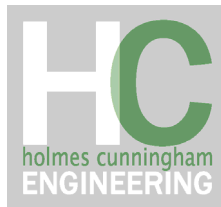
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN NARRATIVE

124 W. 1ST Avenue
T.M.P.# 05-00-03948-00-7
124 West First Avenue
Conshohocken Borough, Montgomery County, PA

Prepared For:
Green Tree Group
300 Farm Lane
Doylestown, PA 18901



Robert Cunningham, P.E.
PA License No. PE 076424



December 31, 2021
HCE Job# 1663

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2	Pre-Development Impervious Map
3	Post-Development Impervious Map

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A	Stormwater Volume Calculations

INTRODUCTION

This report addresses the engineering design of the stormwater conveyance and management systems for the site. These facilities have been designed in accordance with regulations set forth by the Conshohocken Borough Stormwater Management Ordinance.

General Project Information

The project consists of the development of an approximately 0.11-acre tract for construction of two townhouses with detached garages and associated improvements. The total limit of disturbance is shown on the plan. The site contains an existing two-story townhouse and associated improvements, all of which are proposed to be removed. The site is located on 124 West First Avenue in Conshohocken Borough, Montgomery County.

Plan Preparer

The Stormwater Management Plan has been prepared by Mr. Robert Cunningham, P.E. of Holmes Cunningham Engineering in Doylestown, PA. Holmes Cunningham Engineering is a civil engineering consulting firm established in 2013 with partners that have over 25 years combined experience in the land development engineering field.

DESIGN METHODOLOGY

Stormwater Volume

Stormwater runoff volume is analyzed using the soil cover complex method developed by the Soil Conservation Services ("TR-55") for the 100-year, 24-hour storm. The TR-55 procedure simulates a watershed as a series of overland flows, channel flows, and inflow and outflow structures for its contribution to runoff. A value for area and curve number (CN) was calculated for each watershed. The curve number (CN) is a land sensitive coefficient that dictates the relationship between total rainfall depth and direct storm runoff. Based on the coverage of soil groups and land use in the area, a CN was determined for each watershed for existing and proposed conditions.

Rainfall intensities were obtained from Precipitation-Frequency Atlas of the United States, Atlas 14 from National Oceanic and Atmospheric Administration (NOAA).

BEST MANAGEMENT PRACTICES (BMPs)

The current regulations put emphasis on addressing stormwater quality in addition to addressing quantity reductions. Below is a list of BMPs used to achieve the requirements of Conshohocken Borough. Please see Appendix A for BMP calculations and enclosed Figures for illustration of BMPs.

Non-Structural BMPs

Re-Vegetate Disturbed Areas: All disturbed areas will be permanently seeded or landscaped.

Minimize Disturbed Area: The disturbed area has been reduced to the minimum area possible to properly develop the property.

Structural BMPs

Seepage pit: A seepage pit has been proposed to storage the additional volume of runoff due to development based on a one-hundred-year frequency twenty-four-hour duration storm.

BMP Maintenance

The proposed stormwater management facilities and Best Management Practices will be owned and maintained by the property owner. A Best Management Practices Maintenance Plan can be found in on the plan.

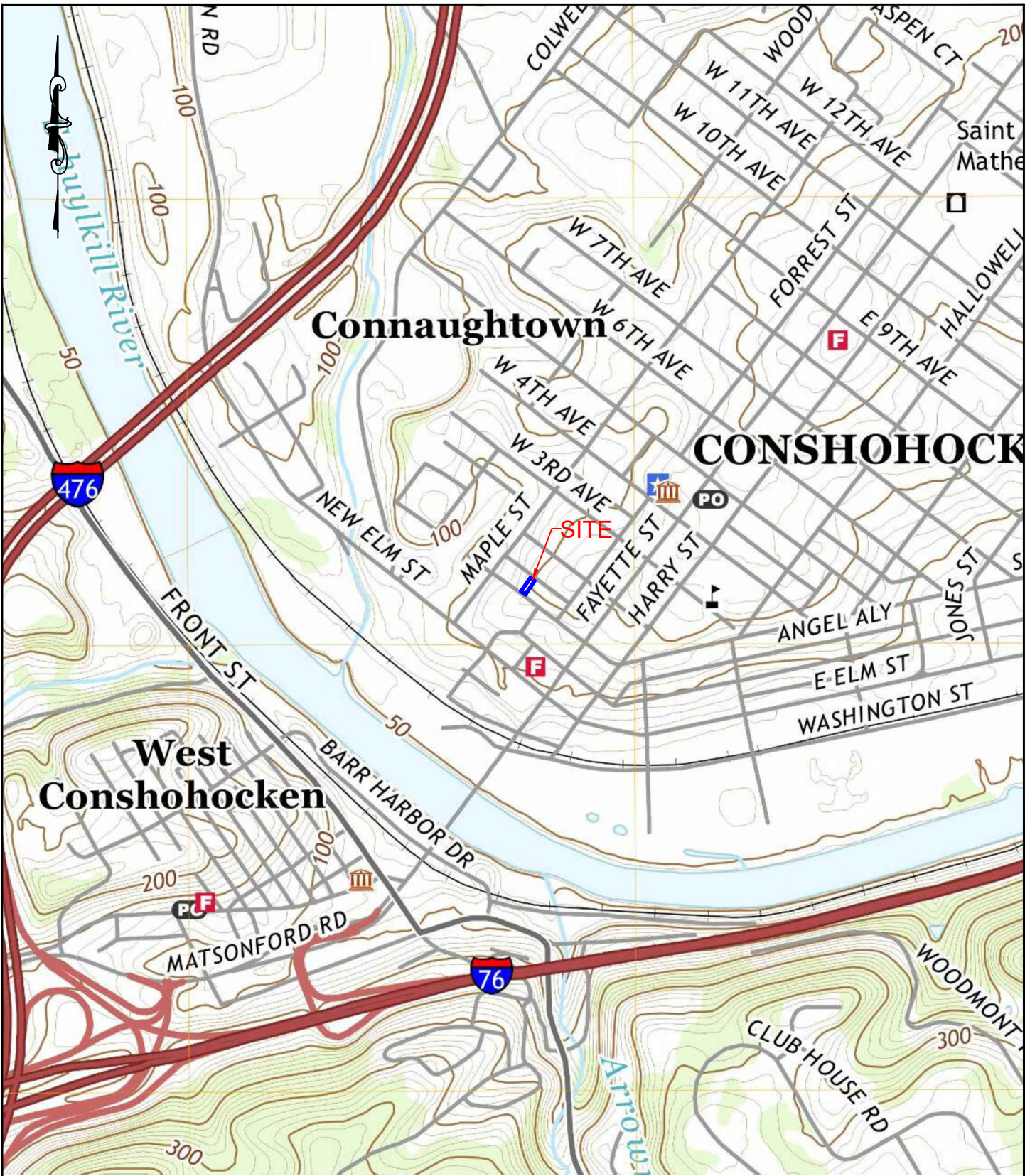
SECTION 22-410.L(1) STORAGE REQUIREMENTS

In accordance with the requirements of Borough, the stormwater volume discharged from the site for proposed conditions will be equal or less than the existing conditions for the 100-year storm. Calculations have been provided in Appendix A demonstrating compliance with the ordinance requirements. The net increase in stormwater volume for proposed development must be managed, infiltrated, or reused on-site. The net increase in stormwater volume is calculated on worksheets 4 and 5 from the Pennsylvania Department of Environmental protection (PADEP).

CONCLUSION

The proposed development and the stormwater management system has been designed to comply with the regulations of Conshohocken Borough. It is our opinion that the proposed development will have no negative impact to the downstream properties.

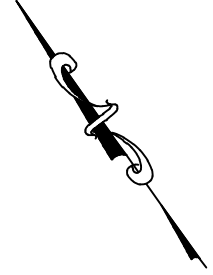
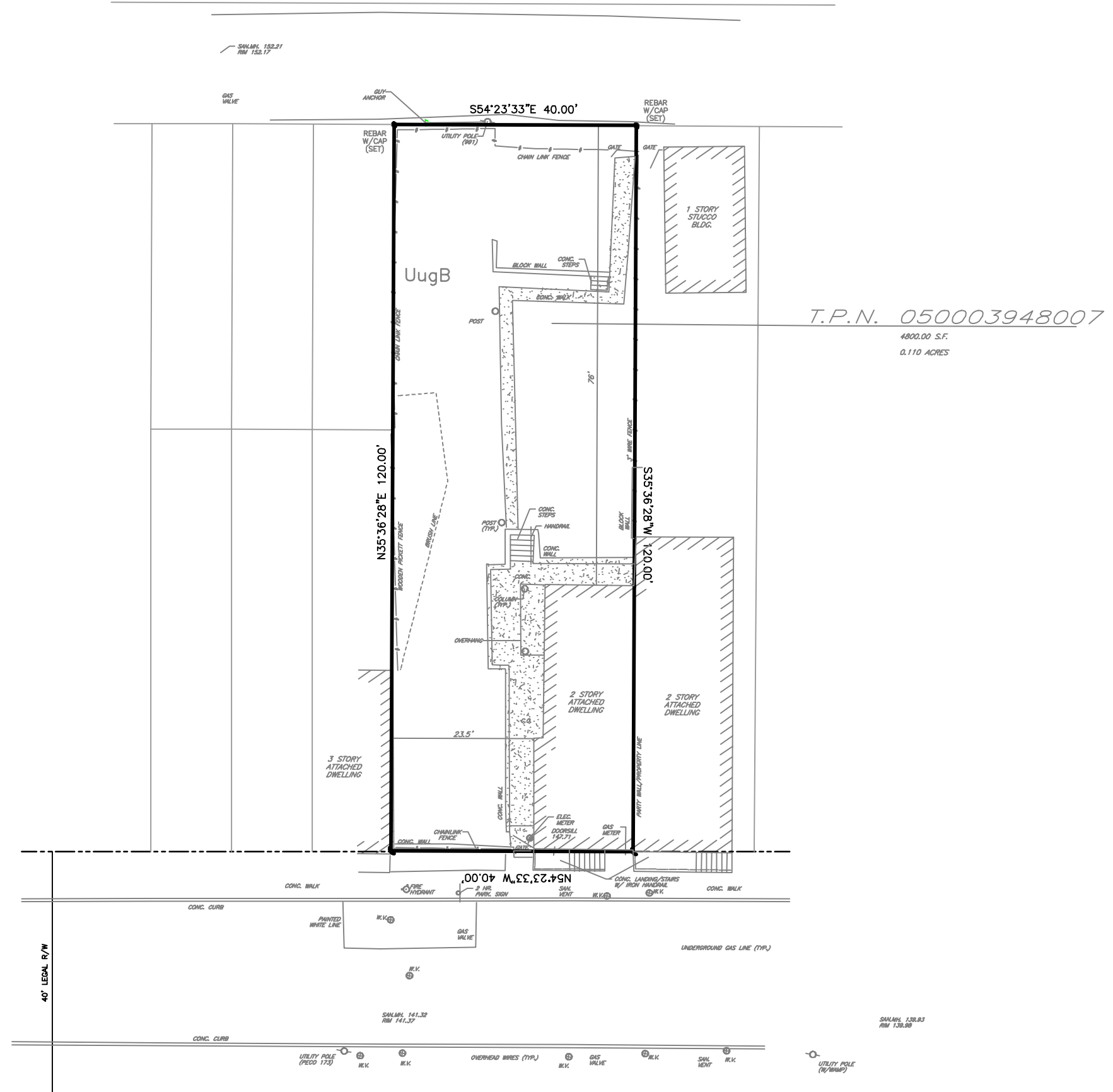
FIGURES



REFERENCE: NORRISTOWN QUADRANGLE, PA 2019, U.S.G.S.

File No. 1663_Figure1.dwg	 Holmes Cunningham LLC 409 E. Butler Ave. Unit 5 Doylestown, PA 18901 (215) 586-3330 www.hcengineering.net	124 W. 1ST AVENUE T.M.P. # 05-00-03948-00-7 124 West First Avenue Conshohocken Borough, Montgomery County, PA	HCE Job No. 1663
		Site Location Map	Date 12/31/2021
		Figure 1	Scale 1" = 1000' Drawing No.

PUBLIC ALLEY



FIRST AVENUE

Drawing No.

Figure 2

Date	12/31/2021
Scale	1"=20'
Designed	NM
HCE Job	1663
Sheet	1 of 1

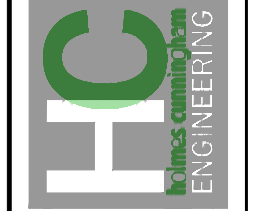
124 W. 1ST AVENUE
T.M.P. # 05-00-03948-00-7

124 West First Avenue
Conshohocken Borough, Montgomery County, PA

PRE-DEVELOPMENT IMPERVIOUS MAP

T.P.N. 050003948007
4800.00 S.F.
0.110 ACRES

Holmes Cunningham LLC
409 East Butler Avenue
Unit 5
Doylestown, PA 18901
(215) 586-3330
www.hcengineering.net



REVISIONS	Description
Date	

File No.
1663 figure 2-3.dwg

APPENDIX A

Stormwater Volume Calculations

AREA CALCULATIONS	
	S.F.
Gross Lot Area	4,800
Street Right-of-Way	0
Net Lot Area	4,800
IMPERVIOUS CALCULATIONS	
Existing Impervious Area	S.F.
Existing Dwelling	677
Existing Concrete Patio and Walk	503
Existing Concrete Wall	95
Total Existing Impervious	1,275
Total Existing Building Coverage	14.1%
Total Existing Impervious Coverage	26.6%
Proposed Impervious Area Lot 1	S.F.
Proposed Dwelling	810
Proposed Garage	216
Proposed Driveway	288
Proposed Walkway	155
Total Proposed Impervious	1,470
Proposed Impervious Area Lot 2	S.F.
Proposed Dwelling	810
Proposed Garage	216
Proposed Driveway	288
Proposed Walkway	155
Total Proposed Impervious	1,470
Change in Impervious Coverage	1,664

Worksheet 4. Change in Runoff Volume for 100-YR Storm Event

PROJECT: GTG Conshocken
Drainage Area: 0.11 Acres
100-Year Rainfall: 7.58 in

Total Site Area: 0.11 acres
Protected Site Area: 0.00 acres
Unmanaged Site Area: 0.00 acres
Managed Area: 0.11 acres

Existing Conditions:

Cover Type/ Condition	Soil Type	Area (ac)	Area (sf)	CN	S	Q Runoff (in)	Runoff Volume (ft ³)
Meadow	C	0.08	3,505	71	4.08	4.22	1,232
Impervious		0.03	1,275	98	0.20	7.34	780
			0	78	2.82	5.00	0
TOTAL:		0.11					2,012

Developed Conditions:

Cover Type/ Condition	Soil Type	Area (ac)	Area (sf)	CN	S	Q Runoff (in)	Runoff volume (ft ³)
Grass; good condition	C	0.04	1,861	74	3.51	4.55	706
Impervious		0.07	2,939	98	0.20	7.34	1,798
TOTAL:		0.11					2,504

100-Year Volume Increase (ft3):	492
----------------------------------------	------------

100-Year Volume Increase = Developed Conditions Runoff Volume – Existing Conditions Runoff Volume

1. Runoff (in) = $Q = (P - 0.2S)^2 / (P + 0.8S)$ where
 P = 2-Year Rainfall (in)
 S = (1000/ CN)-10
2. Runoff Volume (CF) = Q x Area x 1/12
 Q = Runoff (in)
 Area = Land use area (sq. ft)

Note: Runoff Volume must be calculated for EACH land use type/condition and HSGI. The use of a weighted CN value for volume calculations is not acceptable.

Worksheet 5. Structural BMP Volume Credits

PROJECT: 124 W. 1st Avenue
SUB-BASIN: Full Site

Required Control Volume (ft³) – from Worksheet 4 :	492
Non-structural Volume Credit (ft³) – from Worksheet 3 : - (maximum is 25% of required volume)	0
Structural Volume Reqmt (ft³) <i>(Required Control Volume minus Non-structural Credit)</i>	492

Proposed BMP	Area (ft ²)	Volume Reduction Permanently Removed (ft ³)
6.4.1 Porous Pavement		
6.4.2 Infiltration Basin		
6.4.3 Infiltration Bed		
6.4.4 Infiltration Trench		
6.4.5 Rain Garden/Bioretenion		
6.4.6 Dry Well / Seepage Pit	252	449
6.4.7 Constructed Filter		
6.4.8 Vegetated Swale		
6.4.9 Vegetated Filter Strip		
6.4.10 Berm		
6.5.1 Vegetated Roof		
6.5.2 Capture and Re-use		
6.6.1 Constructed Wetlands		
6.6.2 Wet Pond / Retention Basin		
6.7.1 Riparian Buffer/Riparian Forest Buffer Restoration		
6.7.2 Landscape Restoration / Reforestation		
6.7.3 Soil Amendment		
6.8.1 Level Spreader		
6.8.2 Special Storage Areas		
Other Rain Garden with MRC (Volume Managed)		
Other Tree Plantings		

Total Structural Volume (ft³):	449
Structural Volume Requirement (ft³):	492
DIFFERENCE	-43

Volume Control
Small Project Stormwater Management Site Plan

Stormwater facilities shall capture the runoff volume from at least the first two inches of runoff from all new impervious surfaces.

Volume (CF) = (2" Runoff / 12 inches) * New Impervious Area (SF)

New Impervious Area (SF) = 1,664

Total Required Volume (CF) = 277

Total Provided Volume (CF) = 449

STRUCTURAL BMPS

SEEPAGE BED

Stormwater BMP consisting of continuously perforated pipe in a stone-filled (40% voids) bed. Bed max depth 6 ft; Bed wrapped in impermeable linear and placed on uncompacted soils; minimum 6" topsoil over Bed.

Volume of Trench = ((Depth x Width x Length)-Vol. of Pipe)) x Void Space of gravel bed

Set Depth (FT) = 4.00

Set Width (FT) = 14

Length (FT) = 18

Storage Volume (CF) = 373

Volume of Pipe = (π x (Diameter/2)²) x Length

Diameter (FT)= 1.5

Length (FT)= 43

Storage Volume (CF) = 76

Total Provided Storage Volume (CF)= 449



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

Zoning Administration

BOROUGH COUNCIL

Colleen Leonard, President
Tina Sokolowski, Vice-President
Robert Stokley, Member
Anita Barton, Member
James Griffin, Member
Kathleen Kingsley, Member
Karen Tutino, Member

Yaniv Aronson, Mayor

Stephanie Cecco, Borough Manager

November 4, 2021

Kellie McGowan, Esq.
Obermayer Rebmann Maxwell & Hippel LLP
10 S. Clinton Street, Suite 300
Doylestown, PA 18901

Re: Z-2021-20: 124 W. 1st Ave Conshohocken, PA 19428

Dear Ms. McGowan,

The Conshohocken Zoning Hearing Board at its October 25, 2021 meeting granted approval of the requested variances in accordance with the terms of your application.

The relief granted is as follows: a variance from §27-1105.E to permit a side yard setback of 4.1 feet whereas 7 feet is required; and a variance from §27-1105.G to permit a building coverage of 47.7% whereas a maximum of 40% is permitted. The relief was granted conditioned on the applicant's commitment to work with the abutting property owners to address stormwater management concerns during the Land Development process.

A written decision is being prepared by the Board's Solicitor and will be forwarded to you at a later date.

Approval is granted subject to your being in compliance with all local, state, and federal laws and regulations. This zoning approval will expire April 25, 2022 should any required permits not be obtained within that time period. (§27-613)

If you have any questions or concerns, please feel free to contact the undersigned,

Sincerely,

Eric P. Johnson, PE
Zoning Officer
PENNONI ASSOCIATES INC.

EPJ/

cc: Stephanie Cecco, Borough Manager
Ray Sokolowski, Executive Director of Operations
Michael Peters, Esq., Borough Solicitor
Alex Glassman, Esq., Zoning Hearing Board Solicitor
Michael Malloy, Esq., Obermayer Rebmann Maxwell & Hippel LLP
Zoning Hearing Board



January 31, 2022

File No. 22-01216

Stephanie Cecco, Borough Manager
Borough of Conshohocken
400 Fayette Street, Suite 200
Conshohocken, PA 19428

Reference: 124 West 1st Avenue – LD 2022-01
TMP #05-00-03948-00-7
Minor Subdivision and Land Development

Dear Ms. Cecco:

Pursuant to the Borough's request, Gilmore & Associates, Inc. has reviewed the Minor Subdivision and Land Development submission for the above-referenced project. Upon review we offer the following comments for consideration by the Conshohocken Borough Council:

I. Submission

- A. Plans, consisting of sheets 1 through 5 of 5, dated January 6, 2022, as prepared by Holmes Cunningham Engineering for 124 West 1st Avenue
- B. Post Construction Stormwater Management Plan Narrative, dated December 31, 2021, as prepared by Holmes Cunningham Engineering for Green Tree Group

II. Project Description

The subject property, Tax Map Parcel number 05-00-03948-00-7, is situated in the BR-2 Borough Residential Two Zoning District on the northern side of West 1th Avenue between Forrest Street and Maple Street. The site is 4,800 square feet and currently contains a 677 square foot footprint residential dwelling, which is one-half of a semi-attached dwelling, with concrete walkways and several walls. All existing features on the lot are proposed to be demolished as part of this land development.

The Applicant is proposing to subdivide the property into two lots, with Lot 1 containing 2,647 square feet and Lot 2 containing 2,152 square feet. Each lot is proposed to be improved with a 4-story 810 square foot footprint single-family attached dwelling, 216 square foot one-car garage, and 288 square foot asphalt driveway with access to the rear alley. Lot 1 is proposed to contain a seepage bed to address stormwater management. No public improvements, landscaping, or lighting are shown as proposed within the West 1st Avenue or the rear alley rights-of-way. The Applicant was granted variances to permit a side yard setback of 4.1 feet on Lot 1 and a maximum building coverage of 47.7 percent on Lot 2, conditioned upon the Applicant's commitment to work with the abutting property owners to address stormwater management concerns during the land development process.

III. Review Comments

A. Zoning Ordinance

We defer all comments with respect to the Conshohocken Borough Zoning Ordinance to the Borough's Zoning Officer.

B. Subdivision and Land Development Ordinance

We offer the following comments with respect to Borough of Conshohocken Subdivision and Land Development Ordinance:

1. §22-304.B – The name and address of the Owner and Applicant shall be added to the Record Subdivision Plan, Sheet 1. Also, the Owner and TPN information for the eastern adjacent property matches the subject property and shall be updated as necessary.
2. §22-305.B(1)(b) – The paved width of the alley shall be added to the plans and the indicated alley cartway width revised to reference the 20 foot wide alley right-of-way.
3. §22-305.B(2)(b) – The plans shall be revised to label First Avenue as West First Avenue and the Public Alley as Unnamed Alley.
4. §22-305.B(2)(b)2 – Existing contours shall be added to the Existing Conditions & Demolition Plan, Sheet 2.
5. §22-308.J(8)(a) - The Conshohocken Borough Planning Commission signature block shall be removed from the Record Subdivision Plan, Sheet 1.
6. §22-404.3.F.(6) – Based on the proposed 16 foot wide driveways, which do not provide sufficient width for two 9 foot wide parking spaces, we recommend the deeds restrict the use of the proposed one-car garages for parking only (e.g. not for storage use), subject to approval by the Borough Solicitor.
7. §22-405 - Based on the proposed modifications to the access into the dwellings and the proposed number of utility connections, the plans shall be revised to indicate the curb and sidewalk will be replaced along the site's entire West 1st Avenue frontage.
8. §22-409 – We offer the following comments with respect to the proposed grading:
 - a. Proposed 150 foot contours shall be provided between the two 150.33 foot and the 149.55 foot spot elevations shown at the rear of the dwellings. Information shall be provided to confirm positive drainage will be provided from the 149.55 foot spot elevation to the 149 foot contour.
 - b. Additional information shall be provided to confirm that the grading proposed along the western property line will not have a negative impact on existing drainage patterns of the adjacent property. It is unclear from the provided information whether 128 West 1st Avenue drains into the rear yard of the subject property.
9. §22-409.1 – Slopes in excess of 2:1 must be permanently stabilized with appropriate erosion control techniques and/or retaining walls and slopes greater than 3:1 shall be vegetated with low maintenance ground covers, shrubs and other plant material. The proposed slopes, including at the edges of the driveways, south of the garage on Lot 1, and the southwestern corner of Lot 1, shall be revised as necessary.
10. §22-409.2 – A waiver would be required to permit proposed grading within 3 feet of the exterior property lines.
11. §22-410 – We offer the following comments with respect to the proposed stormwater management design:
 - a. Information shall be provided to confirm the peak discharge from the development site is no greater than prior to development. This shall include, but is not limited to, providing pre- and post-development drainage area calculations, stage-storage calculations, dewatering calculations, 100-year water surface elevation, and identifying the point(s) of interest and the contributing drainage area to the proposed seepage bed. We may have additional comments once supporting information is provided for review.
 - b. The volume of storage provided in a stormwater BMP shall be equal to the total additional volume of runoff due to the development based on the 100-year 24-hour storm. Based on the calculations, a volume of 492 cubic feet is required; however, based on the proposed dimensions, only 403 cubic feet of volume is proposed within the seepage bed. The plans and Narrative shall be revised for compliance with this requirement.

- c. The Seepage Pit Construction Sequence for PCSM BMPs Note on the Construction Details plan, Sheet 5, shall be revised to reference impermeable lining rather than nonwoven geotextile to match the information from the Seepage Pit Detail provided on the Improvements Construction Plan, Sheet 3.
 - d. A condition of the variances granted by the Zoning Hearing Board is the Applicant committing to work with the abutting property owners to address stormwater management concerns during the land development process. Information shall be provided to show how this condition is being met.
 - e. The proposed 12" wide steel plate and Sidewalk Plate Detail provided on the Construction Details plan, Sheet 4, shall be replaced to comply with the Borough's standard Roof Drain or Steel Tube Roof Drain Encasement Detail.
12. §22-410.4.K – This section requires that all roof drains be discharged to a stormwater BMP. The proposed roof drain locations, dimensions, and drainage areas shall be added to the plans. Pipe calculations shall be provided in the Post Construction Stormwater Management Plan Narrative to confirm the roof drain system can handle the flows from the 100-year design storm.
 13. §22-410.6 - The deed for proposed Lot 1 shall incorporate a stormwater facility description and maintenance requirements in a form acceptable to the Borough Solicitor's office.
 14. §22-412 – The proposed location of the utility pole within the alley to be relocated shall be indicated on the plans. Also, a note shall be added to the plans indicating that all proposed utility services will be placed underground.
 15. §22-417 – The proposed location of the silt sock along West 1st Avenue shall be modified to maintain public sidewalk access.
 16. §22-419.3 – All existing and proposed monumentation shall be shown on the plan, including the iron pins referenced in the BMP Maintenance/Restrictions Plan notes on the Construction Details plan, Sheet 5.
 17. §22-421.4 – Street shade trees are required along all frontages, planted no more than 30 feet apart and a minimum of five feet inside the lot lines. A minimum of two street trees shall be proposed along West 1st Avenue, though we note a waiver would be required to permit the trees to be planted within the right-of-way based on the proposed location of the dwellings.
 18. §22-421.6 – Pedestrian lighting shall be provided along public streets. The plan shall be revised to meet the requirements of this section or a waiver would be required.
 19. §22-804 – The Applicant is required to dedicate 10% of the total site area to the Borough for park and recreational use. Based on the limited site area, we recommend the Applicant coordinate with the Borough Solicitor regarding a fee in lieu of providing park and recreational facilities.

C. General Comments

We offer the following general comments:

1. The Applicant shall obtain all required approvals, permits, etc. (e.g. Fire Marshal, Conshohocken Borough Sewer Authority, MCPC, MCCD, PADEP, Aqua, etc.). Copies of these approvals and permits shall be submitted to the Borough of Conshohocken and our office.
2. A signed and sealed copy of the referenced Existing Features Plan prepared by Cavanaugh's Surveying Services dated June 17, 2021 shall be provided to our office.
3. Legal descriptions for the proposed lots shall be provided to our office for review.
4. General Note 2 and Grading and Drainage Notes 12 and 13 on the Improvement Construction Plan, Sheet 3, and the BMP Maintenance/Restrictions Plan Note on the Construction Details plan, Sheet 5, shall be revised to reference Conshohocken Borough.
5. The details provided on the Construction Details plan, Sheet 4, shall be replaced with the Borough's standard details and the Borough's standard Curb and Gutter and Roadway Restoration Details shall be

added to the plan.

6. The plans shall be revised to include the Borough's Standard Notes, Erosion Control Detail notes, and a note stating that any existing features damaged during construction will be replaced by the Owner and no cost to the Borough.
7. Based on the proposed number of utility trenches, the plans shall be revised to indicate full width roadway mill and overlay along the site's entire West 1st Avenue frontage and replacement of the white line striping around the fire hydrant.

If you have any questions regarding the above, please contact this office.

Sincerely,



Karen M. MacNair, P.E.
Borough Engineer
Gilmore & Associates, Inc.

KMM/

cc: Brittany Rogers, Executive Assistant
Ray Sokolowski, Executive Director of Operations and Building Code Official
Michael E. Peters, Esq., Borough Solicitor



BOROUGH OF CONSHOHOCKEN

Office of the Borough Manager

MEMORANDUM

MAYOR
Yaniv Aronson

BOROUGH COUNCIL
Colleen Leonard, President
Tina Sokolowski, Vice-President
Anita Barton, Member
Stacy Ellam, Member
Kathleen Kingsley, Member
Adrian Serna, Member
Karen Tutino, Member

Stephanie Cecco
Borough Manager

Date: January 19, 2022

To: Stephanie Ceco, Borough Manager

From: Tim Gunning, Fire Marshal
Chris Small, Senior Residential Building Inspector

Re: 124 West 1st Avenue
Preliminary/Final Minor Subdivision and Land Development
1/11/2022 Submission (Original Submission)

As requested, the following materials were submitted for the above references land development proposal were reviewed:

- Plans, consisting of sheets 1 through 5 of 5, dated January 6, 2022, as prepared by Holmes Cunningham Engineering for 124 West 1st Avenue

Upon review of the submitted plans, we have no comments.

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

VALERIE A. ARKOOSH, MD, MPH, CHAIR
KENNETH E. LAWRENCE, JR., VICE CHAIR
JOSEPH C. GALE, COMMISSIONER



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY COURTHOUSE • PO Box 311
NORRISTOWN, PA 19404-0311
610-278-3722
FAX: 610-278-3941 • TDD: 610-631-1211
WWW.MONTCOPA.ORG

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

February 9, 2022

Stephanie Cecco, Borough Manager
Borough of Conshohocken
400 Fayette Street, Suite 200
Conshohocken, Pennsylvania 19428

Re: MCPC #22-0010-001
Plan Name: 124 West 1st Avenue
(2 lots/ 2 dwelling units/ comprising 0.11 acres)
Situate: West 1st Avenue
Borough of Conshohocken

Dear Ms. Cecco:

We have reviewed the above-referenced land development in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as requested by documentation submitted by the borough on January 14, 2022. We forward this letter as a report of our review.

BACKGROUND

The applicant, EELI, LLC, Doylestown, PA has submitted a subdivision and land development plan seeking preliminary plan approval for the construction of two townhouses with detached garages and associated improvements on a 0.11 acre development tract located at 124 W. First Avenue. The development tract is Tax Parcel # 05-00-03948-00-7 and is located in the borough's BR-2 Zoning District. The site contains an existing two-story townhouse and associated improvements, all of which are proposed to be removed.

The BR-2 District requires a minimum lot area of 1,800 square feet and a minimum lot width of 40 feet. The plan does not address several dimensional requirements, including minimum lot width, minimum front yard setback, and minimum side yard setback (for one side) for both Lots #1 and #2. The applicant's proposed Lot #2 exceeds the maximum building coverage of 40%, with a proposed

47.7 % building coverage and exceeds the maximum impervious coverage of 60% with a proposed impervious coverage of 68.3%.

At its October 25, 2021 meeting, the Conshohocken Zoning Hearing Board granted approval of the requested variances in accordance with the terms of your application. The relief granted the following:

- A variance from §27-1105.E to permit a side yard setback of 4.1 feet whereas 7 feet is required; and
- A variance from §27-1105.G to permit a building coverage of 47.7% whereas a maximum of 40% is permitted.

The relief was granted, conditioned on the applicant's commitment to work with the abutting property owners to address stormwater management concerns during the Land Development process. The applicant is requesting a waiver of the SALDO requirement for the submission of a landscape plan with this proposal.

CONSISTENCY WITH THE COUNTY & BOROUGH COMPREHENSIVE PLANS

The redevelopment of this property is consistent with the goals and intent of *MONTCO 2040: A Shared Vision*, the Montgomery County Comprehensive Plan, 2015. The Future Land Use Map designates this developed area of the borough as 'Village-Residential'. The development of small lot single-family and semi-attached residential units supports this land use vision. The development plan appears to be generally consistent with the *Conshohocken Borough Comprehensive Plan Update, 2018* which supports residential infill development in the community, provided it respects the existing character of the neighborhood.

RECOMMENDATION

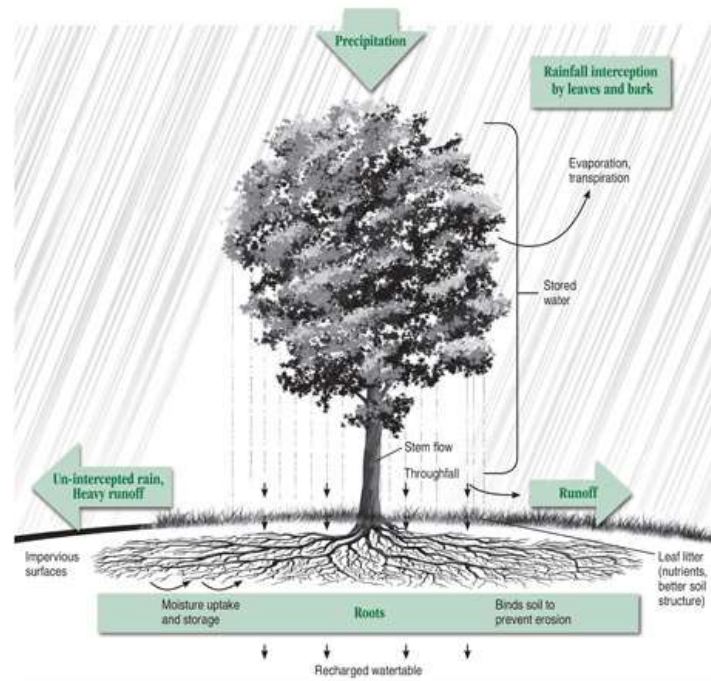
The Montgomery County Planning Commission (MCPC) generally supports the applicant's redevelopment proposal for this tract with the new attached dwelling units, however, in the course of our review we noticed that a landscape improvements plan was not provided. A condition of the Zoning Hearing Board decision is that the applicant should address the neighbor's concerns regarding stormwater runoff from the site's development. We believe a landscape improvements plan which includes several large to medium-size shade trees could assist in this effort.

COMMENT

1. *Landscape Plan Improvements Needed-*

We recommend the applicant provide the needed landscape plan to ensure needed greening improvements to address some of the concerns of neighboring property owners regarding stormwater run-off. Currently, the rear yard is the only available space on each lot providing greening improvements. The addition of several large to medium stature shade trees in the rear yard placed within a landscape bed could assist in the mitigation of stormwater runoff. We recommend the applicant include in the landscape plan, 1- shade tree and 1-medium-size

shade tree on each of the lots between the garage and the residential structure. We suggest consideration be given to proven native trees adapted to the urban environment, including: Swamp White Oak (*Quercus bicolor*), Sweetbay Magnolia (*Magnolia virginiana*), and the River Birch (*Betula nigra*). We have included the graphic which demonstrates the multiple ways that a large tree can assist in the management of rainfall.



Graphic source- <https://treecanopybmp.org/contact-us>

CONCLUSION

The Montgomery County Planning Commission generally supports the plan as submitted and recommends the borough consider the above mentioned review comment to its satisfaction. Please note that any recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Please be aware that the MCPC #22-0010-001 has been set aside for the applicant' plan. If any subsequent plans are submitted for final recording, this MCPC number should appear on the applicant sheets within the plans in the box reserved for the seal of this agency.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our

office for seal and signature prior to recording with the Recorder of Deeds office.

A paper copy bearing the municipal seal and signature of approval must be supplied for our files.

Sincerely,

A handwritten signature in cursive script that reads "Barry W. Jeffries".

Barry W Jeffries, ASLA, Senior Design Planner
bjeffrie@montcopa.org - 610-278-3444

c: Chairperson, Borough Planning Commission
Karen MacNair, Borough Engineer
Michael Peters, Esq., Borough Solicitor
EELI, LLC, Applicant
Holmes Cunningham Engineering, Applicant's Representative



124 West First Avenue
MCPC #220010001

Montgomery
County
Planning
Commission
Montgomery County Courthouse - Planning Commission
100 Spar. St. • Gaithersburg, MD 20878-2221
(p) 810.275.3722 • (f) 810.275.3947
www.montcopa.org/planscom
Aerial photography provided by Viewmap.





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BCONS22006

February 16, 2022

Stephanie Cecco
Borough Manager
Borough of Conshohocken
400 Fayette Street, Suite 200
Conshohocken, PA 19428

**RE: Traffic Engineering Review
124 W. 1st Avenue**

Dear Ms. Cecco:

We have completed our review of the material submitted for the referenced land development application. The submission consisted of a Record Subdivision Plan for 124 W. 1st Avenue, dated 1/6/22, prepared by Holmes Cunningham LLC. We offer the following comments for your consideration:

1. **§27-824** - Traffic Impact Study – This section of the code requires a Traffic Impact Study (TIS) for developments of 30 or more dwelling units. A TIS is not required for this application.
2. **§22-404(1)(A)** – Alleys, Driveways, and Parking Areas – In accordance with this section of the code, the existing alley shall be improved and extended within the limits of the development. The plan depicts a 20' cartway but should confirm that a minimum paved width of 15' is provided.

If you have any questions or require additional information, please do not hesitate to contact me.

Very truly yours,

PENNONI ASSOCIATES INC.

Brian R. Keaveney, PE, PTOE
Transportation Division

cc: Ray Sokolowski, Executive Director of Operations
George Metz, Chief of Police
Timothy Gunning, Fire Chief and Fire Marshal

Karen MacNair, PE, Borough Engineer
Michael Peters, Esq., Borough Solicitor
Brittany Rogers, Executive Assistant

February 8, 2022

BCONS 22003

Stephanie Cecco, Borough Manager
Conshohocken Borough
400 Fayette Street, Suite 200
Conshohocken, PA 19428

RE: Zoning Review
124 W. 1st Avenue – Minor Subdivision and Land Development

Dear Ms. Cecco:

As requested, we reviewed the following, prepared by Holmes Cunningham, LLC, in connection with the referenced project:

- *“124 W 1st Avenue – Minor Subdivision and Land Development Plan Set,”* (5 sheets) dated January 6, 2022.

The applicant, EELI, LLC, proposes to redevelop the subject property, located in the BR-2 – *Borough Residential 2* zoning district. The property is currently developed with a single-family attached dwelling end unit. The applicant proposes to subdivide the subject property, demolish the existing improvements, and construct new dwellings with detached garage and driveways on each lot. A stormwater management facility is proposed behind the dwelling to treat runoff from the new development. The property is served with public water and sanitary sewer.

The applicant was granted the following variances with conditions by the Zoning Hearing Board per the Decision of the Board on Application Z-2021-20, dated December 9, 2021:

- From §27-1105.E to permit a side yard setback of 4.1 feet whereas seven feet is required.
- From §27-1105.G to permit a building coverage of 47.7% on proposed Lot 2 whereas a maximum of 40% is permitted.

We offer the following comments:

1. When there is an established building line on a street, the majority of the buildings on that side of the block shall be used as the minimum required front yard setback. However in no case shall the setback be less than 10 feet from the face of a curb of a public street. (§27-1105.C) The proposed dwellings need to be setback a minimum of 10 feet from the curb line of W. 1st Avenue.
2. Two off-street parking spaces are required per lot and each space shall have a minimum dimension of 9 feet by 18 feet. (§27-1108) The plan indicates 18-foot deep by 16-foot-wide driveways, which each accommodates 1 compliant parking space, and 18-foot deep by 12-foot-wide garages. The applicant is to confirm if the use of the garage is intended solely for the parking of a vehicle to meet the off-street parking requirement. Additionally, the 18-foot-deep driveway provides minimal clearance between a parked vehicle and traffic movement in the alley.

3. Per §27-1105.H, the maximum permitted impervious coverage on a lot in the BR-2 district is 60%. However, a maximum of two permanent rear off-street parking spaces measuring 9 feet by 18 feet may be excluded from the impervious coverage calculation, subject to review by the Borough Engineer to determine that there are no adverse effects related to drainage and stormwater management. The zoning data table indicates a Lot 2 impervious coverage of 68.3% and notes a variance is required. The applicant might consider utilizing the off-street parking impervious reduction in order to comply with the maximum coverage requirements.
4. Per the Decision of the Zoning Hearing Board on Application Z-2021-20, the granted zoning relief is conditioned upon the Applicant's coordination with Ms. Batchler (owner of 128 W. 1st Avenue) regarding stormwater management efforts during the Land Development process. The applicant is to provide documentation of coordination with Ms. Batchler and develop a stormwater management plan for the proposed development to the satisfaction of the Borough Engineer.
5. The existing features and demolition plan is to identify the existing site improvements proposed for demolition.

If you have any questions or concerns, please feel free to contact the undersigned.

Sincerely,

Eric P. Johnson, PE
Zoning Officer
PENNONI ASSOCIATES INC.

EPJ/adc

**BOROUGH OF CONSHOHOCKEN
MONTGOMERY COUNTY, PENNSYLVANIA**

ORDINANCE NO. _____

AN ORDINANCE OF THE BOROUGH OF CONSHOHOCKEN, MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA, AMENDING THE CODE OF ORDINANCES OF THE BOROUGH OF CONSHOHOCKEN, CHAPTER 27 ZONING, PART 15 SP-1 AND SP-2 – SPECIALLY PLANNED DISTRICTS ONE AND TWO, PART 16 SP-3 – SPECIALLY PLANNED DISTRICT THREE, AND PART 22 SP-4 – SPECIALLY PLANNED DISTRICT FOUR TO REMOVE RESIDENTIAL USES FROM THE SP-1, SP-2, SP-3, AND SP-4 ZONING DISTRICTS; REPEALING PRIOR INCONSISTENT ORDINANCES OR PART OF ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; AND SETTING AN EFFECTIVE DATE.

WHEREAS, the Borough Council of the Borough of Conshohocken is duly empowered by the Borough Code, 8 Pa.C.S. § 101, *et seq.*, to enact certain regulations relating to the public health, safety and welfare of the citizens of the community of the Borough of Conshohocken; and

WHEREAS, the Borough Council of the Borough of Conshohocken has adopted a comprehensive Borough Zoning Ordinance, in accordance with the provisions of Article VI of the Pennsylvania Municipalities Planning Code, 53 P.S. § 10101; which same Ordinance is intended to provide for the orderly development and redevelopment of the Borough; and

WHEREAS, the Borough has performed a comprehensive review of its housing stock, and, at the same time, has performed a comprehensive analysis of emergency management within the Borough, including specifically within that area of the Borough located on or near the Schuylkill river, both east and west of Fayette Street;

WHEREAS, based on the aforementioned analysis, the Borough Council has determined that amending the SP-1, SP-2, SP-3, and SP-4 zoning districts, as provided herein, to remove residential uses as permitted uses in any of the specially planned districts is in the best interest of the Borough.

NOW THEREFORE, be it **RESOLVED** and it is hereby **RESOLVED** by the Council of the Borough of Conshohocken as follows:

SECTION 1.

Chapter 27 *Zoning* of the Borough of Conshohocken's Code of Ordinances, Part 15 *SP-1 and SP-2 –Specially Planned Districts One and Two*, section 27-1501 *Declaration of Legislative Intent*, is hereby amended by repealing the existing section in its entirety, and replacing it with the following:

§ 27-1501. Declaration of Legislative Intent.

It shall be the purpose of the Specially Planned District Nos. 1 and 2 (hereinafter "SP-1 District" or "SP-2 District") to provide for the orderly development of a major business and commerce areas of the Borough of Conshohocken, in accordance with the objectives, policies, and proposals of the Comprehensive Plan and other approved Borough plans including, but not necessarily limited to the Redevelopment Plan and the Floodplain Conservation District Regulations. The development of these districts shall be directed by the plans and redevelopment proposals heretofore shown in the Comprehensive Plan and studies, which may subsequently follow and be approved. The logical and timely development of land for business purposes is herein a stated purpose of these districts. In addition, it is a purpose of these districts to recognize the unique relationship of the districts to the entrance to the Borough and of the districts to the bordering natural resources, including the river and views of the hills beyond the river. The districts propose to permit a uniformity of design and to ensure the orderly arrangement of buildings, land uses, and parking areas, and all construction hereafter proposed for these areas shall be related to this objective. The purpose of these districts is also to encourage a mix of uses, a variety of heights, additional employment, and to provide for the protection of the storage capacity and flow of floodwaters. The architectural and design arrangements of buildings are encouraged to conform to the general character and plans of the SP Districts 1 and 2.

SECTION 2.

Chapter 27 *Zoning* of the Borough of Conshohocken's Code of Ordinances, Part 15 *SP-1 and SP-2 – Specially Planned Districts One and Two*, section 27-1502 *Use Regulations*, is hereby amended by deleting subsection Q in its entirety.

SECTION 3.

Chapter 27 *Zoning* of the Borough of Conshohocken's Code of Ordinances, Part 15 *SP-1 and SP-2 – Specially Planned Districts One and Two* is hereby amended by repealing section 27-1511 *Dimensional and Design Standards – Residential* in its entirety.

SECTION 4.

Chapter 27 *Zoning* of the Borough of Conshohocken's Code of Ordinances, Part 16 *SP-3 – Specially Planned Districts Three*, is hereby amended by repealing section 27-1601 *Declaration of Legislative Intent* in its entirety, and replacing it with the following:

§ 27-1601. Declaration of Legislative Intent.

In expansion of the declaration of legislative intent and statement of community development objectives contained in Part 1 of this Chapter, the specific intent of this district is to:

- A. Provide for the orderly and planned development and redevelopment of a major business and heavy industrial area of the Borough.
- B. In addition, it is the purpose of this district to recognize the unique relationship of this district to the entrance to the Borough and to the bordering natural resources, including the river and views of the ridgelines beyond.
- C. It is the further purpose of this district to extend the character of development in the adjoining SP-1 and SP-2 Districts while accommodating existing and future industrial, manufacturing, fabricating and processing activities as well as other appropriate commercial land uses.
- D. Provide performance standards, setback regulations and buffering requirements to minimize traffic congestion, noise, glare, pollution, and safety hazards, and in general to ensure compatibility between the type

and scale of office and industrial development and that such development will cause minimal negative impacts on surrounding neighborhoods.

SECTION 5.

Chapter 27 *Zoning* of the Borough of Conshohocken’s Code of Ordinances, Part 16 *SP-3 – Specially Planned Districts Three*, section 27-1602 *Use Regulations*, is hereby amended by deleting subsection Q in its entirety.

SECTION 6.

Chapter 27 *Zoning* of the Borough of Conshohocken’s Code of Ordinances, Part 16 *SP-3 – Specially Planned Districts Three*, section 27-1603 *Conditional Uses*, is hereby amended by deleting subsection 4 in its entirety.

SECTION 7.

Chapter 27 *Zoning* of the Borough of Conshohocken’s Code of Ordinances, Part 16 *SP-3 – Specially Planned Districts Three*, section 27-1604 *Conditional Use Standards*, is hereby amended by deleting subsection 4 in its entirety.

SECTION 8.

Chapter 27 of the Borough of Conshohocken’s Code of Ordinances, Part 22 *SP-4 – Specially Planned Districts Four*, section 27-2202 *Use Regulations*, subsection P is hereby repealed in its entirety and replaced with the following:

- P. Unified development (defined below). As part of a unified development, in addition to any other approval required under the Pennsylvania Liquor Code, a restaurant or tavern with a liquor license in a unified development shall require conditional use approval from Borough Council; provided, however, no such conditional use approval shall be required, and such restaurant use shall be permitted by right, for a restaurant with a liquor license that is located in a building used as a hotel, or in all or any portion of an historic building being renovated for use as a restaurant or tavern and any addition connected thereto.

SECTION 9.

Chapter 27 of the Borough of Conshohocken’s Code of Ordinances, Part 22 *SP-4 – Specially Planned Districts Four*, section 27-2206 *Required Off-Street Parking Capacity and Dimensional Standards for a Unified Development* subsection 1.A(4) is hereby amended by removing “Residential (multifamily)” from the “Shared Parking Credit Schedule”.

SECTION 10. **REPEALER**

Any and all other Ordinances or parts of Ordinances in violation or in conflict with the terms, conditions and provisions of this Ordinance are hereby repealed to the extent of such irreconcilable conflict.

SECTION 11. **SEVERABILITY CLAUSE**

The terms, conditions and provisions of this Ordinance are hereby declared to be severable, and, should any portion, part or provision of this Ordinance be found by a court of competent jurisdiction to be invalid, non-enforceable or unconstitutional, the Council hereby declares its intent that the Ordinance shall have been enacted without regard to the invalid, non-enforceable, or unconstitutional portion, part or provision of this Ordinance.

SECTION 12. **EFFECTIVE DATE**

This Ordinance shall become effective on the earliest date permitted under Pennsylvania law.

ORDAINED and **ENACTED** an ordinance of the Borough of Conshohocken this _____ day of _____, 2022.

BOROUGH OF CONSHOHOCKEN

COLLEEN LEONARD, COUNCIL PRESIDENT

ATTEST:

SECRETARY

Approved this _____ day of _____,
2022

YANIV ARONSON, MAYOR



MAJOR PROJECT DEVELOPMENT

Presented by: Z Raymond Sokolowski

THE BOROUGH OF CONSHOHOCKEN

PRESENTATION OUTLINE

Discussion Topics

- Community Structure
- Current & Future Borough Development
- Construction Timeline – Current
- Construction Timeline – Future
- Washington St. Development
- Borough Demographics
- Emergency Management Preparation
 - Pre-Planning
 - Challenges and Opportunities
 - Emergency Management
 - Support Team
- Summary



Matson Mill



Community Structure

A Brief Background

- One Square Mile
- Home to 9,261 Residents 04/2020
- Daily Commuter Traffic ~ 40,400*
 - Fayette St. to Poplar St. = 14,000*
 - Fayette St. to Maple = 7,000*
 - Straight up Fayette = 20,000*

❖ Lower End is South Side of Elm Sts. and Across Train Tracks

❖ Upper End is North Side of Elm Sts. and up





SEPTA Train Station

There are several factors likely to have contributed to the Borough's recent population gain.

- Accessibility to the Borough (vehicular and public transit)
- Proximity to workforce centers
- Diversity of housing

CURRENT AND FUTURE BOROUGH DEVELOPMENT

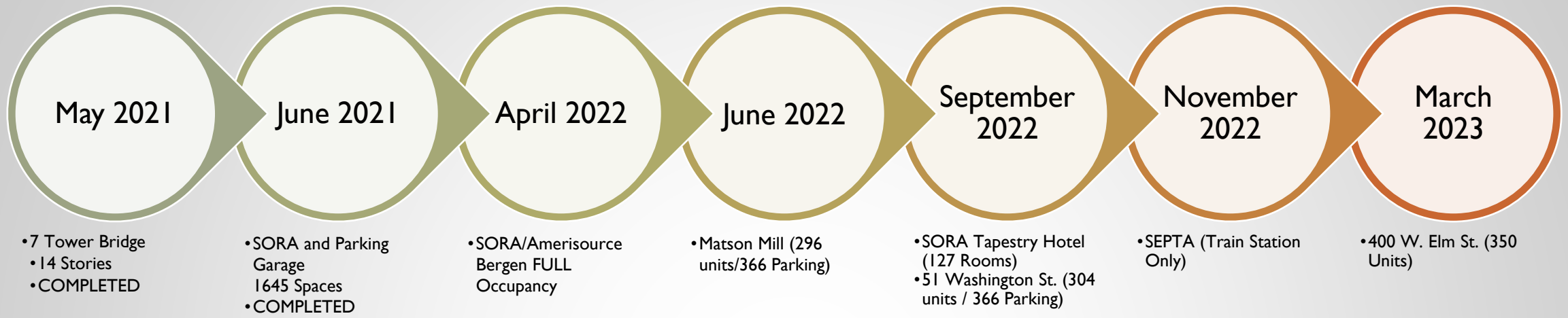


In conjunction with the Borough of Conshohocken's Comprehensive Plan the Borough has continued to develop the commercial and industrial area within the Borough limits. The Borough of Conshohocken has just completed two (2) major projects and currently has six (6) remaining major projects.

Total Square Footage of Construction is 3,133,160.00.



CONSTRUCTION TIMELINE - CURRENT



7TB
(Construction and Completion)



SORA
(Construction to Completion)



CONSTRUCTION TIMELINE - FUTURE

**June
2022**

- Hale Pump Townhomes (estimated completion 2023)

**August
2022**

- 401-433 Washington St. (585 Units) – estimated completion 2024

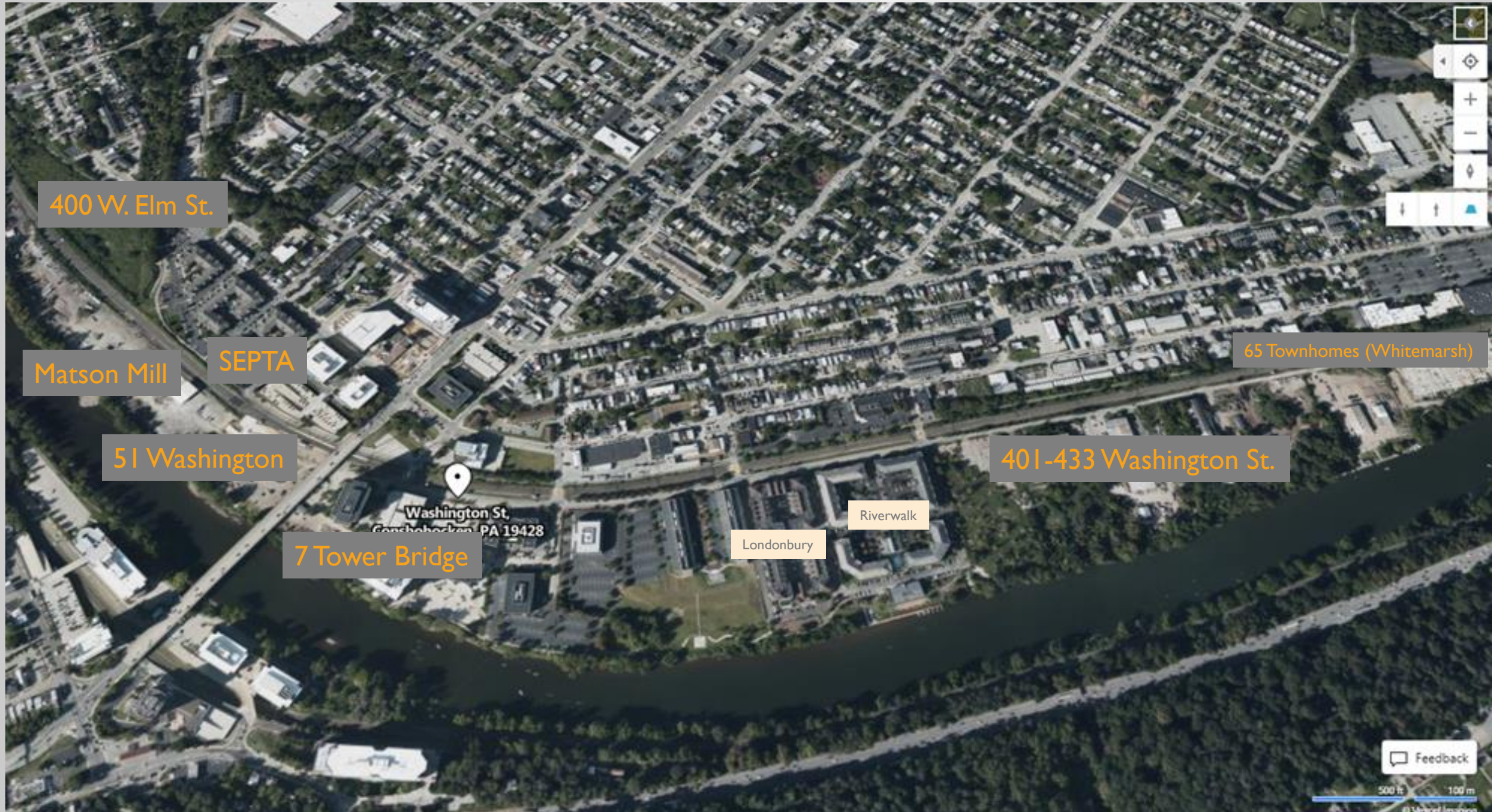
**June
2023**

- SEPTA
• (Parking Garage) Potential 500 + Parking Spaces

**Date
TBD**

- Whitemarsh 65 Townhomes at Cherry and Washington St.

WASHINGTON ST. DEVELOPMENT



Lower End Rise in Population



Matson Mill

○ 1,535 Additional Residential Apartments (based on single occupancy)

○ Borough population within 36 Months

○ Current Occupancy 2,146 (based on double occupancy)

○ Estimated “New” residents 3,070 (based on double occupancy)

Total Estimated Number: 5,216

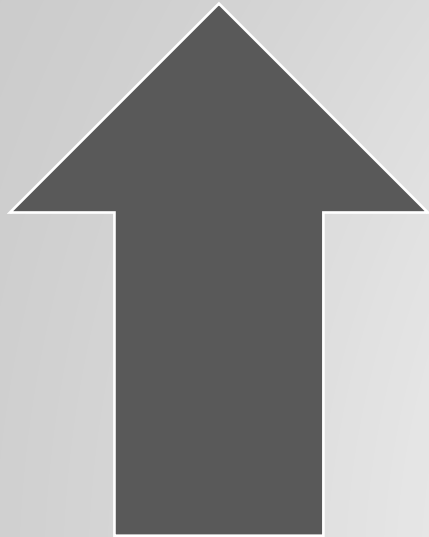
Lower End Numbers not inclusive of:

- 7 Tower Bridge (Day Time)
- Current Commercial Business– Transient visitors
- 65 Townhomes (Whitemarsh Twp – Cherry and Washington Sts.)
- Future Development for Residential homes in the Borough of Conshohocken

Additional Vehicular Traffic for area not included:

- SEPTA Train Station (Vehicles)
- Commercial Businesses– Transient Vehicles
- 65 Townhomes (Whitemarsh Twp – Cherry and Washington Sts.)

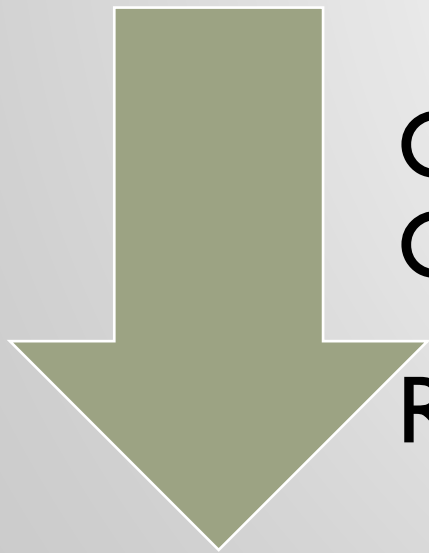
CURRENT BOROUGH RESIDENTS



Current Upper End
Conshohocken
Residents

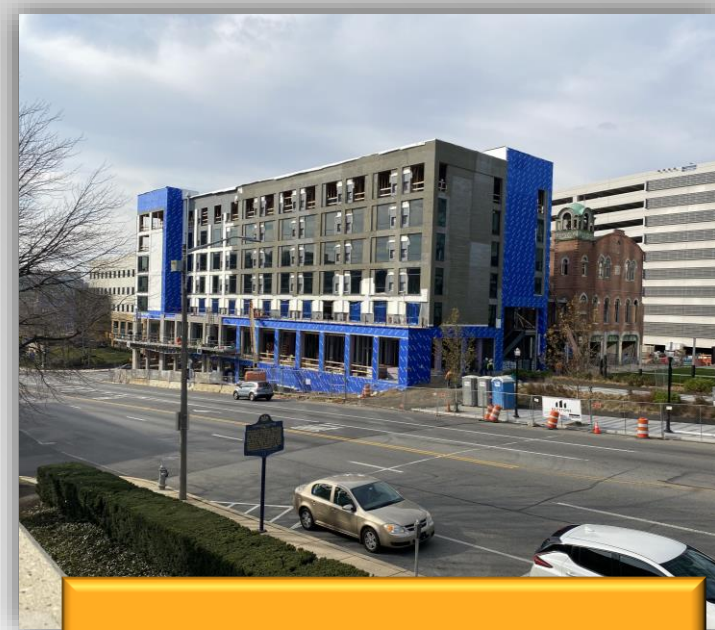
7,115

Total Estimated Number: **9,261**

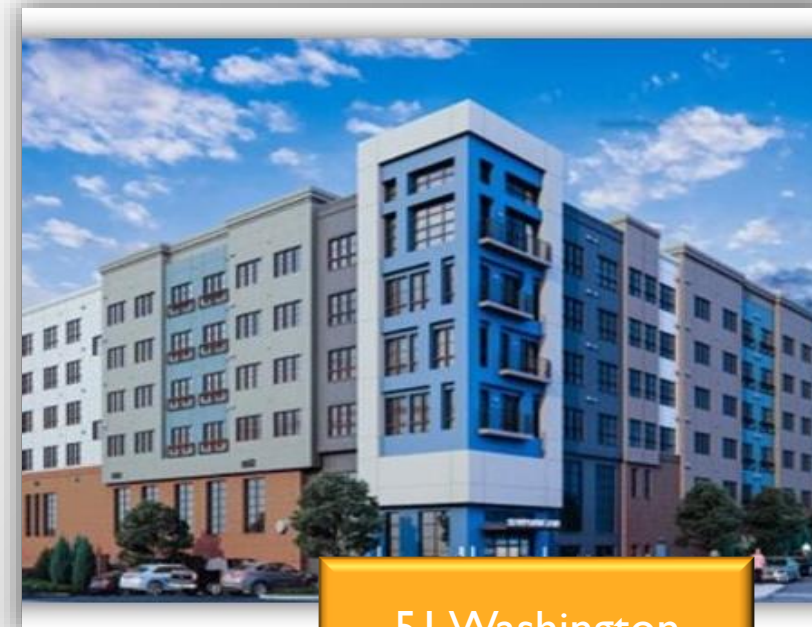


Current Lower End
Conshohocken
Residents

2,146



SORA Tapestry Hotel



51 Washington



400 W. Elm St.

FUTURE BOROUGH RESIDENTS



Future Upper End
Conshohocken
Residents
7,225

Total Estimated Number: **12,441**



Future 401-433
Washington St.



Future Lower End
Conshohocken
Residents
5,216

In 36-months the Borough of Conshohocken population will see an increase from approximately 9,261 residents to approximately 12,441 residents.

Overall Conshohocken Population increase in 36 months

34.4%

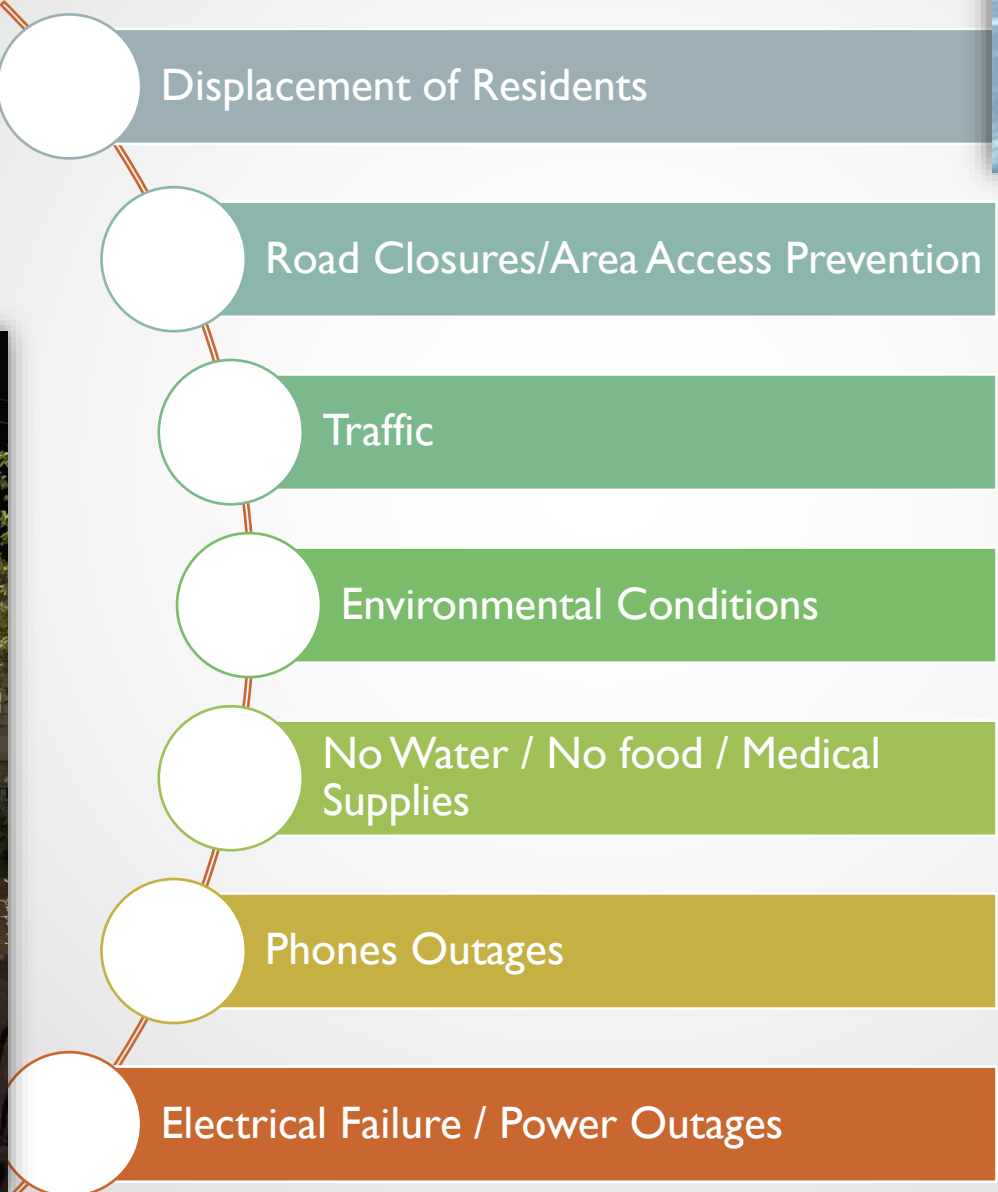
Total est. increase 3,180



Emergency Management Preparation



Hurricane IDA (2021)
Marriott Medical Aid



Tropical Storm Isaias
(Fayette St.) August 2020



Hurricane IDA (2021)
Riverfront

EMERGENCY MANAGEMENT PRE-PLANNING

Emergency Management

- Forward thinking
- Simulations
- Ongoing Training

Training

- Administration Staff
- Police
- Fire
- EMS
- Public Services

Goal

- Less reliance on outside agencies.



The Challenges

EMERGENCY SERVICES MAIN CHALLENGES:



Tropical Storm Isaias
(CRC) August 2020

- Flooding
- Snow/Ice
- Major infrastructure damage
- Major Fire
- Active Shooter
- Civil Unrest
- Large Scale Events



Emergency Management
Rapid Response Team



Communication Planning



Surveillance and
Intelligence



Software and Pre-
Planning Systems



CodeRED emergency
alert system



Proper Equipment and
Resources



Emergency Operations
Center



Training | Simulations

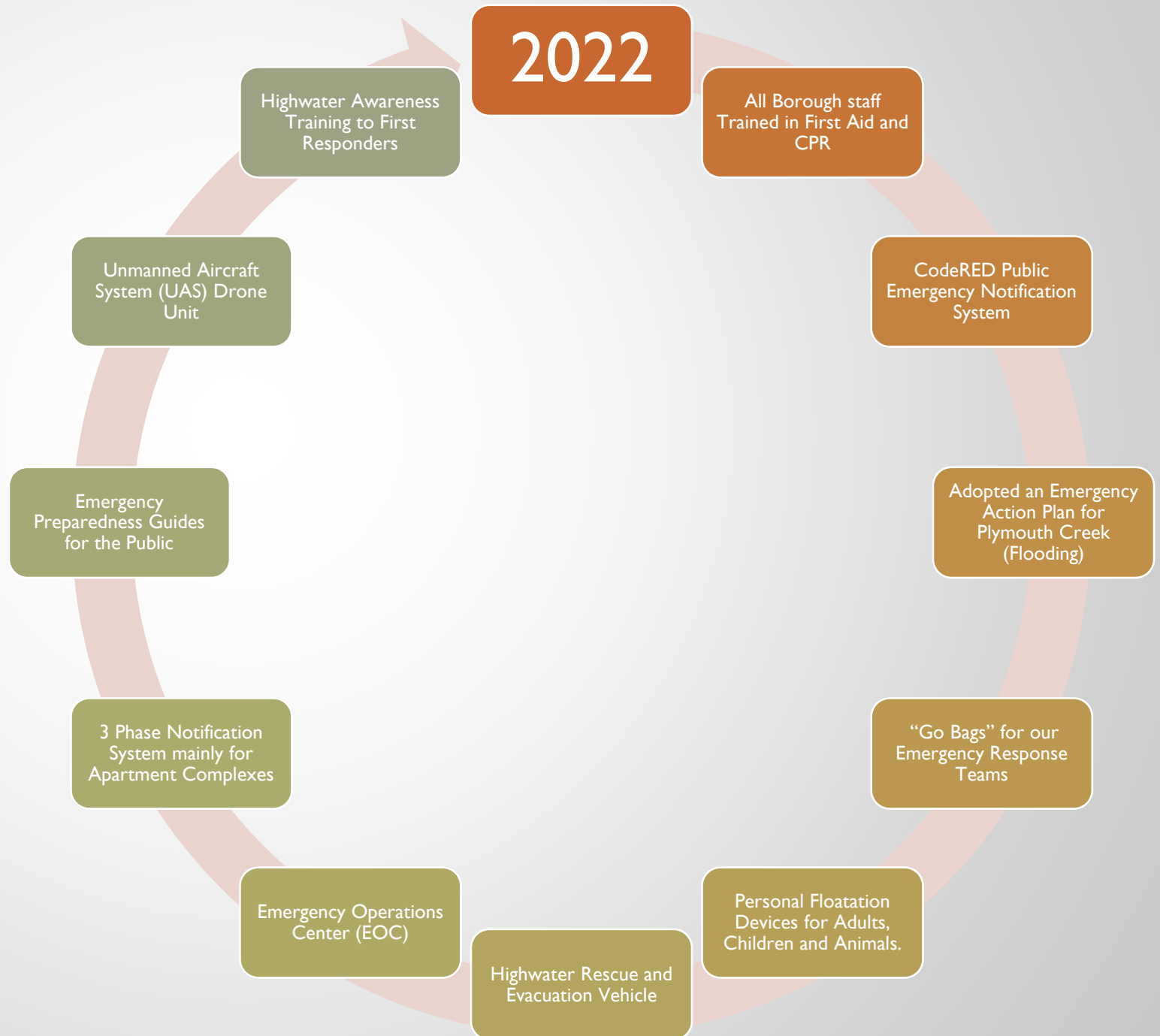
Emergency Management Response

EMERGENCY MANAGEMENT

Conshohocken Emergency Management exists to support our First Responders and Emergency personnel. Our goal is to prepare our community for large scale incidents and events by promoting activities through training.

Emergency Management can;

- Deploy team members swiftly and effectively.
- Pre-plan and train to help us connect First Responders with local, state and federal agencies in a timely and effective manner.
- Train our residents, municipal leaders for emergency situations
- Prepare
 - Emergency Relief
 - Medical Supplies
 - Life Sustainment resources
 - Public safety offices, command posts, staging areas
 - Debris removal, shelters
 - Local businesses, developers, religious organizations; providing guidance and resources



EMERGENCY MANAGEMENT AND OPERATIONS SUPPORT TEAM

Borough Council

Stephanie Cecco - Borough Manager / Public Information Officer

Ray Sokolowski - Executive Director of Operations/Emergency Management Coordinator

Sgt. Dave Lennon - Deputy Emergency Management Coordinator / Unmanned Aircraft System Unit / Public Information Officer

Steve Young – Battalion Chief / Deputy Emergency Management Coordinator / Public Information Officer / Swift Water Rescue Team

Chief George Metz - Police Chief

Fire Chief Tim Gunning - Fire Chief

Lt. Bill Weber - Narberth Ambulance

Bobbi Jo Myrsiades – Operations Administrative Assistant / Unmanned Aircraft System Unit

Kelly Olkowski - Administrative Assistant - Police

Angela Orr - Director of Administrative Services

Kate Kosmin - Communications Manager / Public Information Officer

Allison Flounders - Administrative Assistant/Customer Service

Kristen Davis – Licenses and Inspections

Frank Perry – Public Services

Ed Mongan – Sewer Authority, Operations Manager

Ofc. Xavier Perez - Borough Liaison (Hispanic Community)

Brittany Rogers – Executive Asst. to the Borough Manager / Public Information Officer

Ofc. Steve Vallone – Public Information Officer

Ofc. Matthew Foster – Unmanned Aircraft System unit

Calvin Perlman, Firefighter CFD – Unmanned Aircraft System unit

Summary



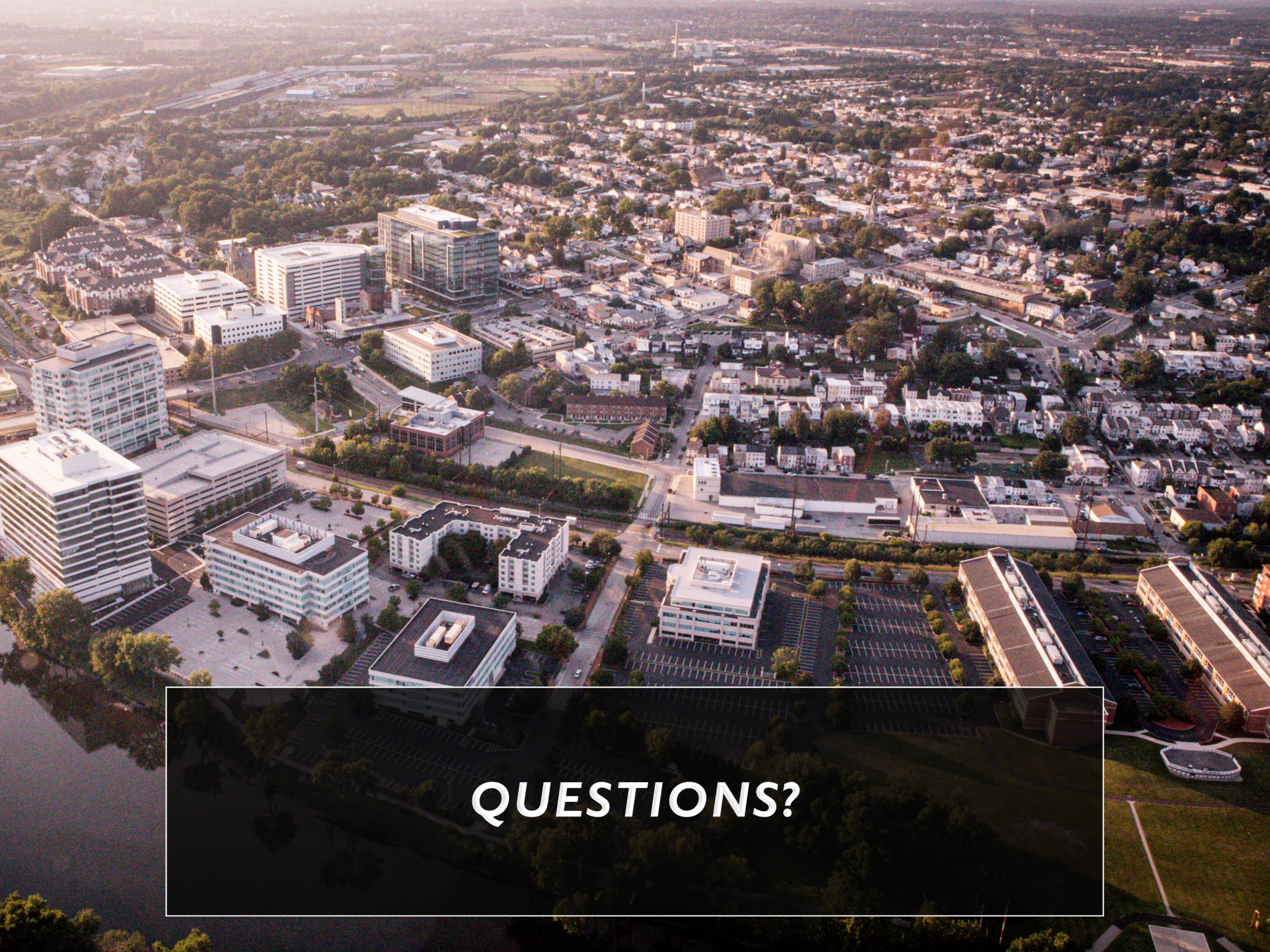
Current Residents 9,261
(2020 Census)



Future Residents 12,441



Continued Pre-Planning,
Communication, Coordination,
Support, Training, Resources and
Supplies



QUESTIONS?

BOROUGH OF CONSHOHOCKEN
MONTGOMERY COUNTY, PENNSYLVANIA

ORDINANCE NO. _____

AN ORDINANCE OF THE BOROUGH OF CONSHOHOCKEN, MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA, AMENDING THE BOROUGH OF CONSHOHOCKEN ZONING ORDINANCE OF 2001 BY CHANGING THE REQUIRED NOTICE REQUIREMENTS AND PROCEDURES OF THE ORDINANCE WITH RESPECT TO HEARINGS UNDER THE ORDINANCE; AMENDING THE PROVISIONS RELATING TO EXPIRATION OF ZONING VARIANCES AND SPECIAL EXCEPTIONS AND ADDING AN EXPIRATION PERIOD FOR CONDITIONAL USES; CONFIRMING THAT CERTAIN PROVISIONS OF PART 12 *R-O RESIDENTIAL OFFICE DISTRICT* ARE NO LONGER OF ANY FORCE OF OTHER EFFECT; REPEALING PRIOR INCONSISTENT ORDINANCES OR PARTS OF ORDINANCES; CONTAINING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Borough Council of the Borough of Conshohocken is duly empowered by the Borough Code, 8 Pa.C.S. § 101, *et seq.*, to enact certain regulations relating to the public health, safety and welfare of the citizens of the community of the Borough of Conshohocken;

WHEREAS, the Borough Council of the Borough of Conshohocken has adopted a comprehensive Borough zoning ordinance, in accordance with the provisions of Article VI of the Pennsylvania Municipalities Planning Code, 53 P.S. § 10101, *et seq.*, which same ordinance is intended to provide for the orderly development and redevelopment of the Borough;

WHEREAS, from time to time, the Borough Council of the Borough of Conshohocken identifies amendments to the Borough's zoning ordinance required to serve the best interest of the Borough and its residents;

WHEREAS, the Borough's zoning ordinance currently provides that notice shall be provided to landowners within 500 feet of a property subject to a hearing under the ordinance;

WHEREAS, the Borough's zoning ordinance currently provides that contact information for landowners entitled to notice under the ordinance is to be compiled and provided by the applicant;

WHEREAS, given the density of the Borough, the Borough's administration has recommended reducing the required notice to 250 feet of the subject property;

WHEREAS, contact information provided by applicants has proved inaccurate and/or incomplete, and therefore Borough administration is forced to confirm and edit information received;

WHEREAS, in addition to the foregoing issues, Borough administration has identified an issue relating to the provisions of the zoning ordinance addressing expiration of variances and special exceptions, specifically that the current provision—providing that variances and special exceptions expire within 6 months—should be extended to 1 year; furthermore Borough Administration has recommended a matching time period (1 year) for expiration of conditional uses;

WHEREAS, based on the issues identified hereinabove, the Borough Council of the Borough of Conshohocken has determined it to be in the best interest of the Borough to amend the Borough’s zoning ordinance as set forth hereinbelow; and

WHEREAS, Borough Council also wishes to effectuate removal of subsection 27-1202.5 from the codification of Part 12 *R-O Residential Office District*, as such subsection is no longer valid following the decision of the Commonwealth Court of Pennsylvania in docket no. 501 C.D. 2020.

NOW THEREFORE, be it **RESOLVED** and it is hereby **RESOLVED** by the Council of the Borough of Conshohocken as follows:

SECTION 1.

The Borough of Conshohocken Zoning Ordinance of 2001, codified at chapter 27 *Zoning* of the Borough’s Code of Ordinances, part 6 *Zoning Hearing Board*, section 605 *Appeal or Application to Zoning Hearing Board*, is hereby amended by repealing subsection H and I in their entirety, and replacing subsection H with the following new provisions:

- H. A payment to the Borough in accordance with a fee schedule adopted and amended from time to time by the Borough Council, in accordance with the requirements of Section 908(1.1) of the Municipalities Planning Code, as amended.

SECTION 2.

The Borough of Conshohocken Zoning Ordinance of 2001, codified at chapter 27 *Zoning* of the Borough's Code of Ordinances, part 6 *Zoning Hearing Board*, section 607 *Notice of Hearing*, is hereby amended by repealing subsection A(2) in its entirety and replacing it with the following new provisions:

A. Written notice shall be given to:

...

- (2) Adjacent landowners, subject to the following procedure:
 - (i) Borough staff shall prepare a list of all property owners within 250 feet of the applicant's land. The list shall be obtained from the Montgomery County Board of Assessment Appeals, or from the Tax Collector for the Borough of Conshohocken (or other applicable municipality when the adjacent land is outside of the Borough). Notices shall be sent to the current owner(s) of record.
 - (ii) Borough staff shall mail the notices identified in subsection (i).
 - (iii) Costs associated with preparing the list of property owners and mailing notices as set forth in subsection (i) and subsection (ii) shall be paid by the applicant.

SECTION 3.

The Borough of Conshohocken Zoning Ordinance of 2001, codified at chapter 27 *Zoning* of the Borough's Code of Ordinances, part 6 *Zoning Hearing Board*, section 613 *Expiration*, is hereby amended by repealing the current provisions in their entirety and replacing them with the following new provisions:

Unless otherwise specified by the Board, a special exception or variance shall expire if the applicant fails to obtain any and all permits within one (1) year of the date of approval.

SECTION 4.

The Borough of Conshohocken Zoning Ordinance of 2001, codified at chapter 27 *Zoning* of the Borough's Code of Ordinances, part 8 *General Regulations*, section 27-826 *Procedure for Conditional Use Application*, is hereby amended by adding a new subsection C with the following provisions:

C. Expiration

Unless otherwise specified by Borough Council, a conditional use shall expire if the applicant fails to obtain any and all permits within one (1) year of the date of approval.

SECTION 5. R-O RESIDENTIAL OFFICE DISTRICT

Borough Council hereby confirms that as a result of the decision of the Commonwealth Court of Pennsylvania at docket no. 501 C.D. 2020, ordinance no. 08-2017 is no longer valid, and therefore section 27-1202, subsection 5 of the Zoning Ordinance is no longer of any force or other effect. Borough Council directs Borough Administration to effectuate the removal of subsection 27-1202.5 from the codification of the Borough's Zoning Ordinance, including, but not limited to, requesting that this subsection be removed from the codification as shown on the eCode360 website.

SECTION 6. REPEALER.

Any and all other ordinances or parts of ordinances in violation or in conflict with the terms, conditions and provisions of this ordinance are hereby repealed to the extent of such irreconcilable conflict.

SECTION 7. SEVERABILITY CLAUSE.

The terms, conditions and provisions of this ordinance are hereby declared to be severable, and, should any portion, part or provision of this ordinance be found by a court of competent jurisdiction to be invalid, non-enforceable or unconstitutional, the Council hereby declares its intent that the ordinance shall have been enacted without regard to the invalid, non-enforceable, or unconstitutional portion, part or provision of this ordinance.

SECTION 8. EFFECTIVE DATE.

This ordinance shall become effective at the earliest time permitted by Pennsylvania Law.

ORDAINED and **ENACTED** an ordinance of the Borough of Conshohocken this
_____ day of _____, 2022.

BOROUGH OF CONSHOHOCKEN:

COLLEEN LEONARD, COUNCIL PRESIDENT

ATTEST:

STEPHANIE CECCO,
BOROUGH SECRETARY

Approved this _____ day of _____,
2022

YANIV ARONSON, MAYOR